



LOCUS MAP
NOT TO SCALE

PLANS FOR NON-RESIDENTIAL DEFINITIVE SUBDIVISION OF LAND

PARCEL H WAY

0 BARTLETT STREET

(MAP 51 LOT 3 & MAP 66 LOT 16)

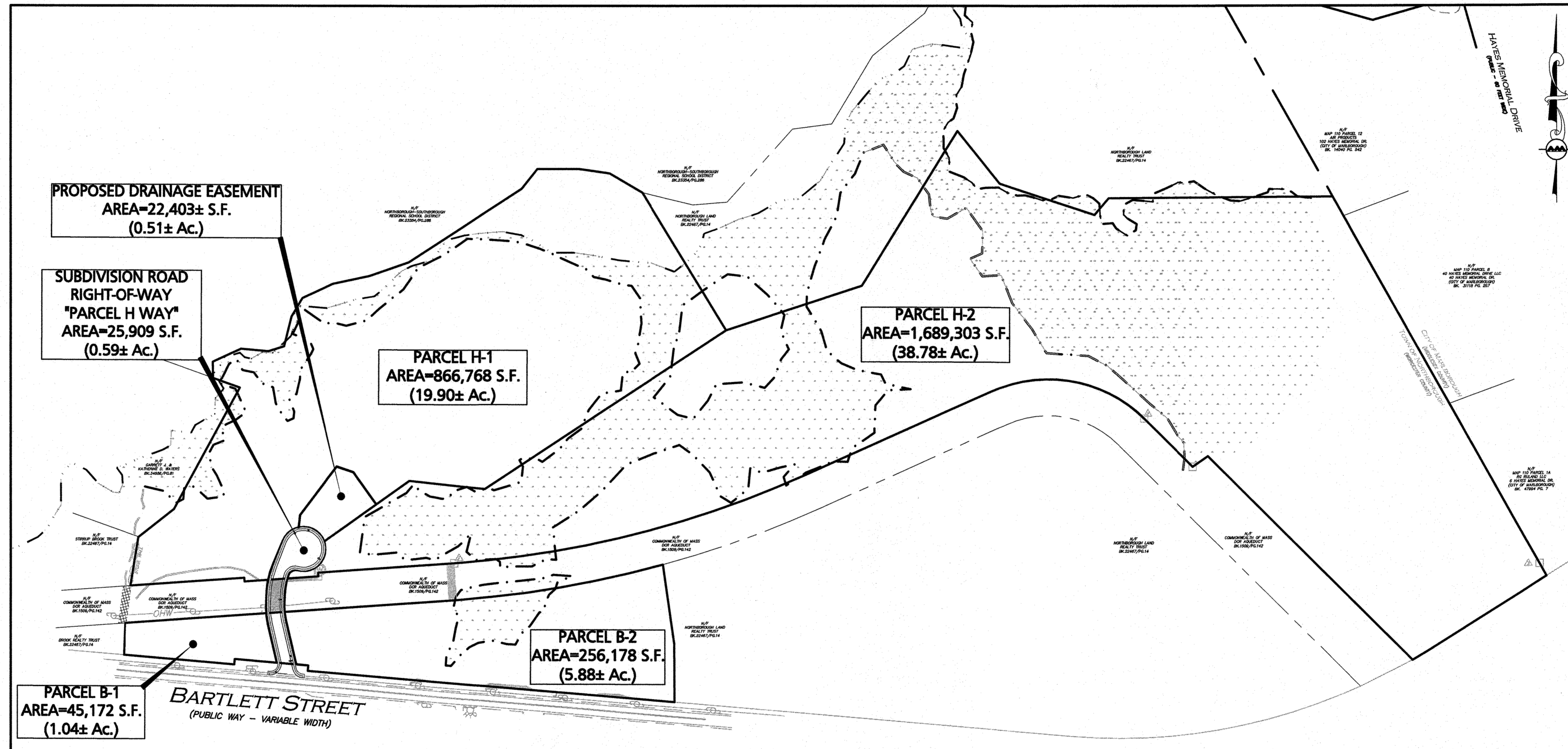
NORTHBOROUGH, MA

OWNER:
NORTHBOROUGH LAND REALTY TRUST
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803
(781) 272-7000

APPLICANT:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803
(781) 272-7000

SITE ENGINEER:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
WOBBURN, MA 01801
(781) 935-6889

LAND SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
WOBBURN, MA 01801
(781) 935-6889



I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE NOTICE OF APPROVAL FROM THE TOWN OF NORTHBOROUGH PLANNING BOARD WAS RECEIVED AND RECORDED, AND NO NOTICE OF APPEAL HAS BEEN FILED IN THIS OFFICE.

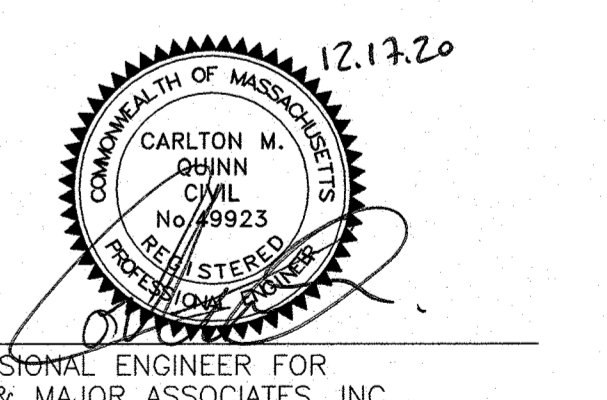
TOWN CLERK _____ DATE _____

SUBJECT TO A COVENANT DATE _____ AND DULY EXECUTED, RUNNING WITH THE LAND TO BE RECORDED BY OR FOR THE OWNER OF RECORD.

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

TOWN OF NORTHBOROUGH PLANNING BOARD

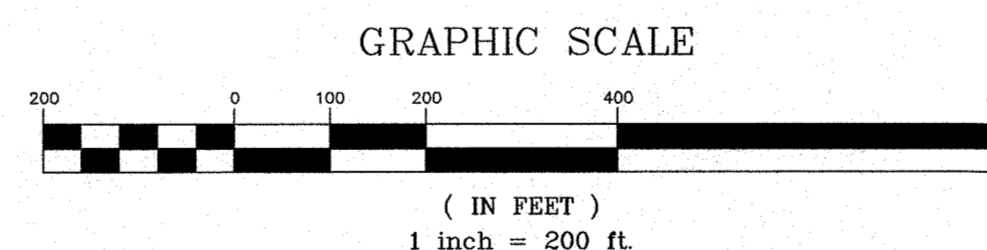
DATE: _____



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

LIST OF DRAWINGS			
CIVIL & SURVEY			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
ABBREVIATIONS AND NOTES	C-001	2020-12-17	-
ABBREVIATIONS AND NOTES	C-002	2020-12-17	-
EXISTING CONDITIONS	V-101	2020-12-17	-
EXISTING CONDITIONS	V-102	2020-12-17	-
INDEX & ZONING SUMMARY PLAN	C-003	2020-12-17	-
DEFINITIVE SUBDIVISION LOTTING PLAN	L-1	2020-12-17	-
DEFINITIVE SUBDIVISION LOTTING PLAN	L-2	2020-12-17	-
EROSION CONTROL PLAN	C-101	2020-12-17	-
LAYOUT & MATERIALS PLAN	C-102	2020-12-17	-
GRADING & DRAINAGE PLAN	C-103	2020-12-17	-
UTILITIES PLAN	C-104	2020-12-17	-
SUBDIVISION ROADWAY & DRAINAGE PROFILE	C-201	2020-12-17	-
SUBDIVISION ROADWAY & UTILITIES PROFILE	C-202	2020-12-17	-
DETAILS	C-501 - C-503	2020-12-17	-

SITE ZONING DISTRICT: INDUSTRIAL (I)



ALLEN & MAJOR ASSOCIATES, INC.
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WOBBURN, MA • LAKEVILLE, MA • MANCHESTER, NH
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ISSUED TO PLANNING BOARD: DECEMBER 17, 2020

22. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX, AND TEE FITTINGS IN ACCORDANCE WITH THE TOWN OF NORTHBOROUGH STANDARDS AND REQUIREMENTS, AS APPLICABLE.
23. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF NORTHBOROUGH REQUIREMENTS, AS APPLICABLE.
24. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL AND MUNICIPAL STANDARDS AND REQUIREMENTS.
25. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH THE UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
26. SEWER PIPE BEDDING MATERIAL SHALL BE AS SPECIFIED ON THE DRAWINGS. IF LOCAL OR STATE AUTHORITIES REQUIRE DIFFERENT BEDDING OR BACKFILL MATERIAL, THEN THE MORE STRINGENT SHALL APPLY.
27. DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.

EROSION & SEDIMENTATION CONTROL NOTES:

1. EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 2008 "CONSTRUCTION GENERAL PERMIT" MANUAL, AND MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. ANY SUCH MODIFICATIONS FROM THE ABOVE MANUALS SHALL BE INSTALLED AS APPROVED BY THE TOWN ENGINEER, AS APPLICABLE.
2. AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED SHALL BE STABILIZED AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY (UNLESS THE TOWN HAS STRICTER REQUIREMENTS WHICH SHALL BE FOLLOWED) IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 4 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS, IN VEGETATIVE SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
3. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY DECEMBER 1ST OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH, APPROVED TACKIFIER AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
4. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDING WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED, AND REUSED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
5. ALL FILTER BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE FILTER BARRIERS AND EROSION CONTROL BERMS SHALL BE INSPECTED AFTER ANY RAINFALL ONE-HALF INCH (0.5") OR GREATER OR AFTER A RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
6. ADJACENT ROADS SHALL BE PERIODICALLY SWEEPED OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA AS OFTEN AS NECESSARY (WHICH COULD BE ON A DAILY BASIS) TO REMOVE ANY SOIL OR SEDIMENTS AT NO ADDITIONAL COST TO THE OWNER. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. BOTH EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION BY THE USE OF SILT SACKS AND OR STRAW BALE BARRIERS AROUND EACH INLET AS NOTED ON THE PLANS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
8. AS APPLICABLE, EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDING AREAS AS SPECIFIED ON THE DESIGN PLANS.
9. AT A MINIMUM, ALL STRAW BALES, SILT FENCE AND FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS OR PLANTINGS HAVE BECOME ESTABLISHED. THE TOWN OF NORTHBOROUGH CONSERVATION COMMISSION MUST APPROVE THE REMOVAL OR RELOCATION OF ANY OF THE STRAW BALES AND FILTER FABRIC. ONCE THE STRAWBALES AND SILT FENCE IS REMOVED THE AREAS ARE TO BE LOAM AND SEEDING TO ACHIEVE FULL STABILIZATION.
10. AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY MA DEP, THE ENGINEER AND THE MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
11. INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED BY THE CONTRACTOR AND LOCATED IN THE CONTRACTORS FIELD OFFICE ONSITE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS. REPORTS SHALL BE SUBMITTED TO THE TOWN OF NORTHBOROUGH CONSERVATION DEPARTMENT.
12. IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
13. FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RE-SEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
14. CONTRACTOR AND ALL SITE SUBCONTRACTORS SHALL BE FAMILIAR WITH AND FOLLOW ALL APPROVED PERMITS AND CONDITIONS. CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPROVED PERMITS ONSITE, INCLUDING THE ORDER OF CONDITIONS FROM THE NORTHBOROUGH CONSERVATION COMMISSION. ALL CONDITIONS AND RECOMMENDATIONS WITHIN THE APPROVED PERMITS SHALL BE COMPLETED.
15. ALL EROSION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR THE TOWN OF NORTHBOROUGH.
16. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
17. TOP OF STOCKPILES SHALL BE COVERED IN SUCH MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE, IF INACTIVE FOR GREATER THAN 7 DAYS.
18. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDING FOR TEMPORARY VEGETATIVE COVER. NO AREA, SUBJECT TO EROSION SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN 7 DAYS IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK OR SIX MONTHS AFTER SOIL HAS BEEN DISTURBED WHICHEVER IS LESS.
19. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY STRAW BALE FILTERS, STONE CHECK DAMS, FILTER FABRIC AND/OR BAGS, CHECK DAMS, SUMPS OR OTHER APPLIED MEANS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
20. STRAW BALE DIKES OR OTHER INLET PROTECTION SHALL BE CONSTRUCTED AT ALL EXISTING AND PROPOSED CATCH BASINS. NO SEDIMENTATION SHALL ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.
21. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE WEEKLY AND BEFORE AND AFTER EACH RAINFALL EVENT OF ONE-HALF INCH (0.5") OR GREATER.
22. ALL PROPOSED SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH OR TACKIFIER AND PROTECTED FROM EROSION UNTIL WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.

EROSION & SEDIMENTATION CONTROL NOTES (CONTINUED):

23. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL STRAW BALES AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE TOWN ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
24. AS CONSTRUCTION DISTURBANCE IS GREATER THAN 1 ACRE, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT NOI, AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL NEED TO BE SUBMITTED TO THE EPA. THE NPDES PERMIT FOR STORM WATER DISCHARGE, & CONSTRUCTION GENERAL PERMIT NOI WILL BE REQUIRED TO BE SUBMITTED AT LEAST 14 DAYS PRIOR TO COMMENCING CONSTRUCTION BY THE CONTRACTOR.
25. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT NOI. WEEKLY SWPPP INSPECTION REPORTS TO BE PERFORMED BY CONTRACTOR. COPIES OF ALL SWPPP INSPECTION REPORTS SHALL BE PROVIDED TO THE TOWN OF NORTHBOROUGH CONSERVATION DEPARTMENT, EPA, DEP, OR ANY OTHER AUTHORITY REQUESTING WEEKLY WITHIN 3 DAYS OF EACH INSPECTION.
26. APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF NORTHBOROUGH, MASSDEP & EPA CONSTRUCTION GENERAL PERMIT STANDARDS, AS APPLICABLE. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SITE PLAN REGULATIONS FROM THE TOWN OF NORTHBOROUGH AND USDA SOIL CONSERVATION SERVICE VEGETATIVE PRACTICES IN SITE DEVELOPMENT.
27. A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.
28. IF DEWATERING IS NECESSARY IT SHALL ONLY BE COMPLETED AS FOLLOWS: THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION. ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE STABLE PRIOR TO DIRECTING DISCHARGE TO THEM. IF A CONSTRUCTION EQUIPMENT BUCKET IS USED, IT SHALL EMPTY THE MATERIAL TO A STABLE AREA. NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN. FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURE'S CAPACITY TO SETTLE AND FILTER FLOW OR IS VOLUME CAPACITY. WHENEVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE DISTANCE TO THE NEAREST WATER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA. THERE SHALL BE NO DIRECT DISCHARGE TO EXISTING WETLANDS OR STREAMS AND BUFFERS OR RIVERFRONT AREA. ALL DISCHARGE SHALL BE IN COMPLIANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
29. INITIATE STABILIZATION OF EXPOSED AREAS IMMEDIATELY IF CONSTRUCTION WORK TEMPORARILY CEASES FOR MORE THAN 14 DAYS, OR PERMANENTLY CEASES.
30. ALL DISCHARGES FROM POLLUTION SOURCES ARE PROHIBITED ONSITE SUCH AS FUELS, WASTEWATER FROM WASH OUT OF CONCRETE, WASTEWATER FROM CLEAN OUT OF PAINTS, FORM RELEASE OILS, SOLVENTS, ADHESIVES, CURING COMPOUNDS, POLLUTANTS USED FOR MAINTENANCE OF VEHICLES AND EQUIPMENT, SOAPS & SOLVENTS, TOXIC OR HAZARDOUS SUBSTANCES, CHEMICALS AND OILS. IF A POLLUTANT IS DISCHARGED IT NEEDS TO BE IMMEDIATELY CLEANED UP BY REMOVING THE CHEMICAL AND AFFECTED SOIL OR AREA OF SPILL FROM THE SITE IN ACCORDANCE WITH BOTH THE MANUFACTURER RECOMMENDATIONS, FEDERAL, STATE, AND LOCAL REQUIREMENTS. DO NOT HOSE DOWN AND SPREAD SPILLED ITEM. ALL CHEMICALS USED ON THE SITE SHALL BE IN LEAK-PROOF CONTAINERS STORED AT LEAST 100' AWAY FROM WETLANDS, SURFACE WATERS, STORMWATER INLETS, AND DRAINAGE MEASURES. SPILL KITS SHALL BE AVAILABLE ONSITE FOR EMERGENCY USE. THERE SHALL BE A SECONDARY CONTAINMENT MEASURE OF ALL CHEMICALS IN ADDITION TO SPILL-PROOF CONTAINERS.
31. PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE EPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS AND THEIR SPECIFIC RESPONSIBILITIES UNDER THE PERMIT. AT A MINIMUM, PERSONNEL MUST BE TRAINED AND UNDERSTAND THE FOLLOWING: LOCATION OF ALL STORMWATER CONTROLS AND HOW TO MAINTAIN THEM, PROCEDURES FOR COMPLYING WITH THE POLLUTION PREVENTION REQUIREMENTS. PROCEDURES FOR CONDUCTING INSPECTIONS, RECORDING FINDINGS, AND TAKING CORRECTIVE ACTION.
32. ALL SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED AT END OF EACH WORK DAY.
33. ALL USE OF CATIONIC TREATMENT CHEMICALS (EXAMPLES INCLUDE POLYMERS, CHITOSAN, CATIONIC PAM, FLOCCULANTS OR OTHER CHEMICAL UTILIZED FOR STABILIZATION) ARE PROHIBITED. IF ALL OTHER AVAILABLE STABILIZATION MEASURES ARE NOT POSSIBLE AND USE OF CATIONIC CHEMICALS IS ABSOLUTELY NECESSARY THE CONTRACTOR WILL NEED TO CONTACT THE EPA NEW ENGLAND OFFICE IN WRITING FOR APPROVAL AND SPECIFIC REQUIREMENTS (MAXIMUM DOSAGE RATE, RESIDUAL TESTING, SPECIFIC LIMITATIONS, ETC) PRIOR TO USE.
34. IF USING NON-VEGETATIVE STABILIZATION MEASURES, IT MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER INITIATING STABILIZATION. ALL AREAS OF EXPOSED SOILS MUST BE COVERED.
35. INSPECTIONS OF EROSION CONTROL MEASURES SHALL BE AT LEAST ONCE EVERY 7 DAYS BY THE CONTRACTOR. AT A MINIMUM INSPECTIONS SHALL INCLUDE ALL DISTURBED AREAS, ALL STORMWATER CONTROLS AND POLLUTION PREVENTION MEASURES. ALL LOCATIONS WHERE STABILIZATION MEASURES HAVE BEEN IMPLEMENTED, EQUIPMENT AND MATERIAL STORAGE AREAS, ALL AREAS WHERE STORMWATER FLOWS AND ALL POINTS OF DISCHARGE. WHEN CORRECTIVE ACTIONS ARE REQUIRED, THE CONTRACTOR MUST IMMEDIATELY TAKE ALL STEPS TO PREVENT POLLUTANT DISCHARGES UNTIL A PERMANENT SOLUTION IS IMPLEMENTED. AS NECESSARY NEW OR MODIFIED CONTROLS MUST BE INSTALLED AND OPERATIONAL. THE REPAIR MUST BE COMPLETED WITHIN 7 DAYS FROM THE TIME OF DISCOVERY. WITHIN 24 HOURS OF A TRIGGERING CONDITION OCCURRING THAT REQUIRES A CORRECTIVE ACTION, A CORRECTIVE ACTION REPORT MUST BE COMPLETED.
36. AS REQUIRED BY THE NORTHBOROUGH CONSERVATION COMMISSION, CONTRACTOR MUST PARK AND STORE ALL CONSTRUCTION EQUIPMENT OUTSIDE THE 100 FOOT WETLANDS BUFFER AT THE END OF EACH DAY. ITEMS TO BE ADDITIONALLY COMPLETED OUTSIDE OF THE 100 FOOT WETLANDS BUFFER INCLUDES FUEL STORAGE, REFUELING OPERATIONS, CLEANING OF EQUIPMENT (INCLUDING THE WASHING / RINSING OF CONCRETE TRANSPORTS)

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE NOTICE OF APPROVAL FROM THE TOWN OF NORTHBOROUGH PLANNING BOARD WAS RECEIVED AND RECORDED, AND NO NOTICE OF APPEAL HAS BEEN FILED IN THIS OFFICE.

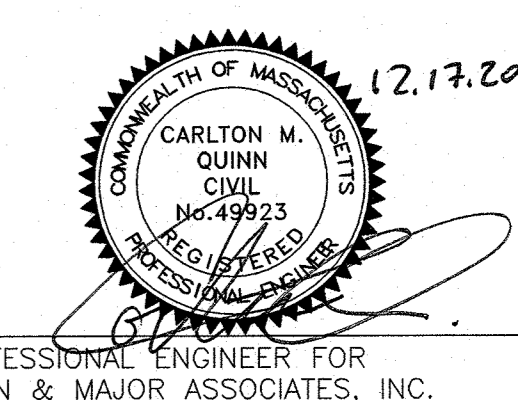
TOWN CLERK _____ DATE _____

SUBJECT TO A COVENANT DATE _____ AND DULY EXECUTED, RUNNING WITH THE LAND TO BE RECORDED BY OR FOR THE OWNER OF RECORD.

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

TOWN OF NORTHBOROUGH PLANNING BOARD

DATE: _____



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
THE GUTIERREZ COMPANY
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

OWNER:
NORTHBOROUGH LAND REALTY TRUST
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

PROJECT:
PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION
PARCEL H WAY
 0 BARTLETT STREET
 MAP 51 LOT 3 & MAP 66 LOT 16
 NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: DEC 17, 2020

SCALE: NTS DWG. NAME: C-1145-09

DESIGNED BY: DMR/NCD CHECKED BY: CMQ

PREPARED BY:



WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: _____ SHEET No. _____

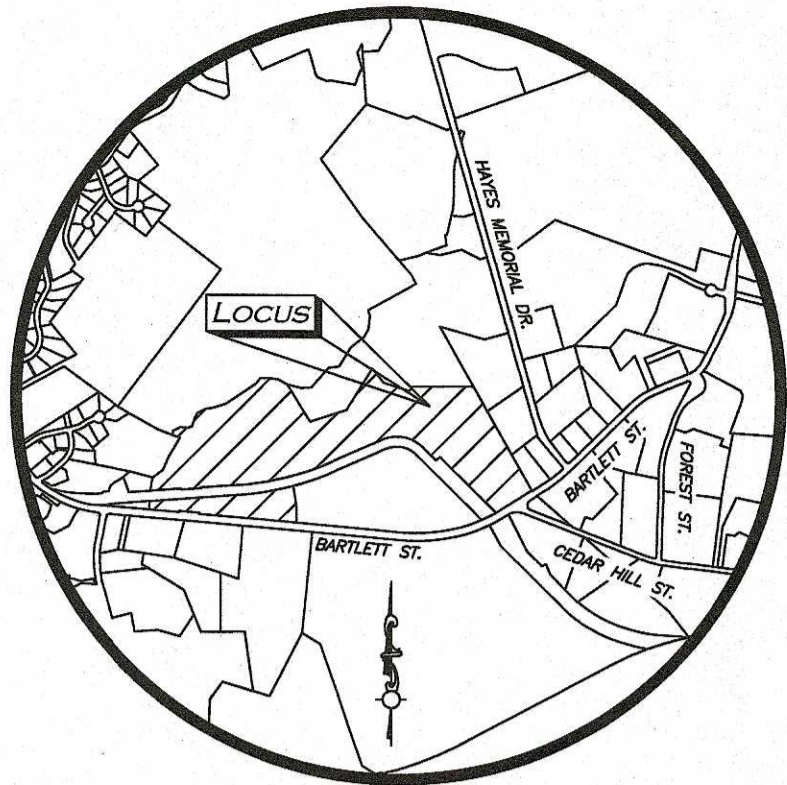
ABBREVIATIONS AND NOTES C-002

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N:\PROJECTS\1145-09\CIVIL\DRAWINGS\CURRENT\DEFINITIVE SUBDIVISION\C-1145-09 - ABBREVIATIONS AND NOTES.DWG

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 1-888-344-7233



LOCUS MAP
(NOT TO SCALE)

LOCUS REFERENCES

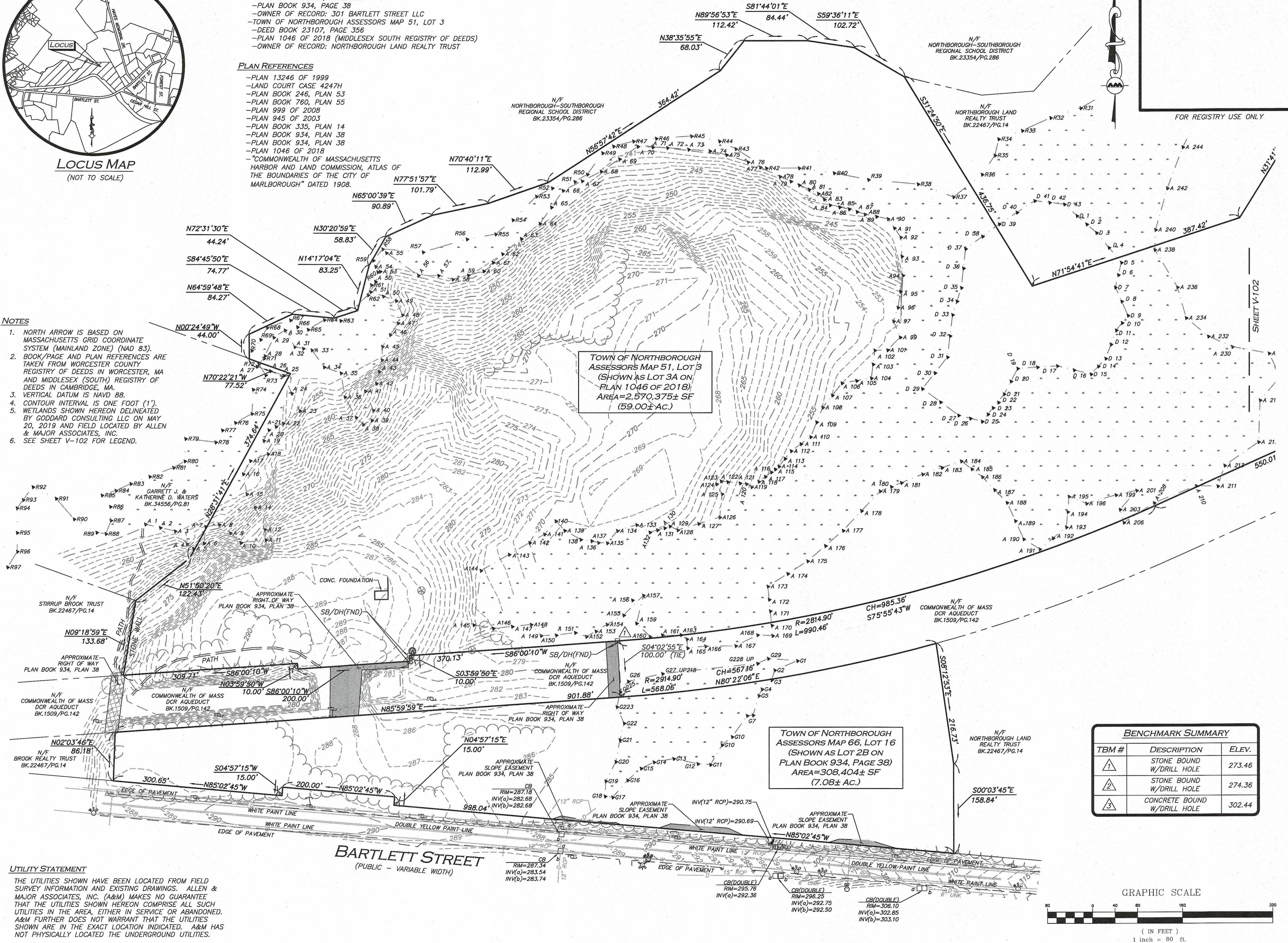
- TOWN OF NORTHBOROUGH ASSESSORS MAP 66, LOT 16
- DEED BOOK 59095, PAGE 396
- PLAN BOOK 934, PAGE 38
- OWNER OF RECORD: 301 BARTLETT STREET LLC
- TOWN OF NORTHBOROUGH ASSESSORS MAP 51, LOT 3
- DEED BOOK 23107, PAGE 356
- PLAN 1046 OF 2018 (MIDDLESEX SOUTH REGISTRY OF DEEDS)
- OWNER OF RECORD: NORTHBOROUGH LAND REALTY TRUST

PLAN REFERENCES

- PLAN 13246 OF 1999
- LAND COURT CASE 4247H
- PLAN BOOK 246, PLAN 53
- PLAN BOOK 760, PLAN 55
- PLAN 999 OF 2008
- PLAN 945 OF 2003
- PLAN BOOK 335, PLAN 14
- PLAN BOOK 934, PLAN 38
- PLAN BOOK 934, PLAN 38
- PLAN 1046 OF 2018
- COMMONWEALTH OF MASSACHUSETTS HARBOR AND LAND COMMISSION, ATLAS OF THE BOUNDARIES OF THE CITY OF MARLBOROUGH DATED 1908.

NOTES

- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
- BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WORCESTER COUNTY REGISTRY OF DEEDS IN WORCESTER, MA AND MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
- VERTICAL DATUM IS NAVD 88.
- CONTOUR INTERVAL IS ONE FOOT (1').
- WETLANDS SHOWN HEREON DELINEATED BY GODDARD CONSULTING LLC ON MAY 20, 2019 AND FIELD LOCATED BY ALLEN & MAJOR ASSOCIATES, INC.
- SEE SHEET V-102 FOR LEGEND.

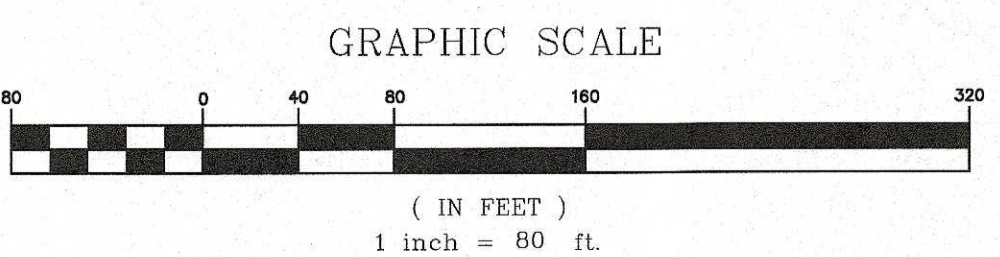


TOWN OF NORTHBOROUGH
ASSESSORS MAP 51, LOT 3
(SHOWN AS LOT 3A ON
PLAN 1046 OF 2018)
AREA=2,570,375± SF
(59.00± AC.)

TOWN OF NORTHBOROUGH
ASSESSORS MAP 66, LOT 16
(SHOWN AS LOT 2B ON
PLAN BOOK 934, PAGE 38)
AREA=308,404± SF
(7.08± AC.)

BENCHMARK SUMMARY

TBM #	DESCRIPTION	ELEV.
1	STONE BOUND W/DRILL HOLE	273.46
2	STONE BOUND W/DRILL HOLE	274.36
3	CONCRETE BOUND W/DRILL HOLE	302.44



UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
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THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION

APPLICANT:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

OWNER:
NORTHBOROUGH LAND REALTY TRUST
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION PARCELS B-1, B-2, H-1, & H-2 0 BARTLETT STREET MAP 51, LOT 3 & MAP 66, LOT 16 NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 12/17/20

SCALE: 1" = 80' DWG. NAME: S-1145-09-EC

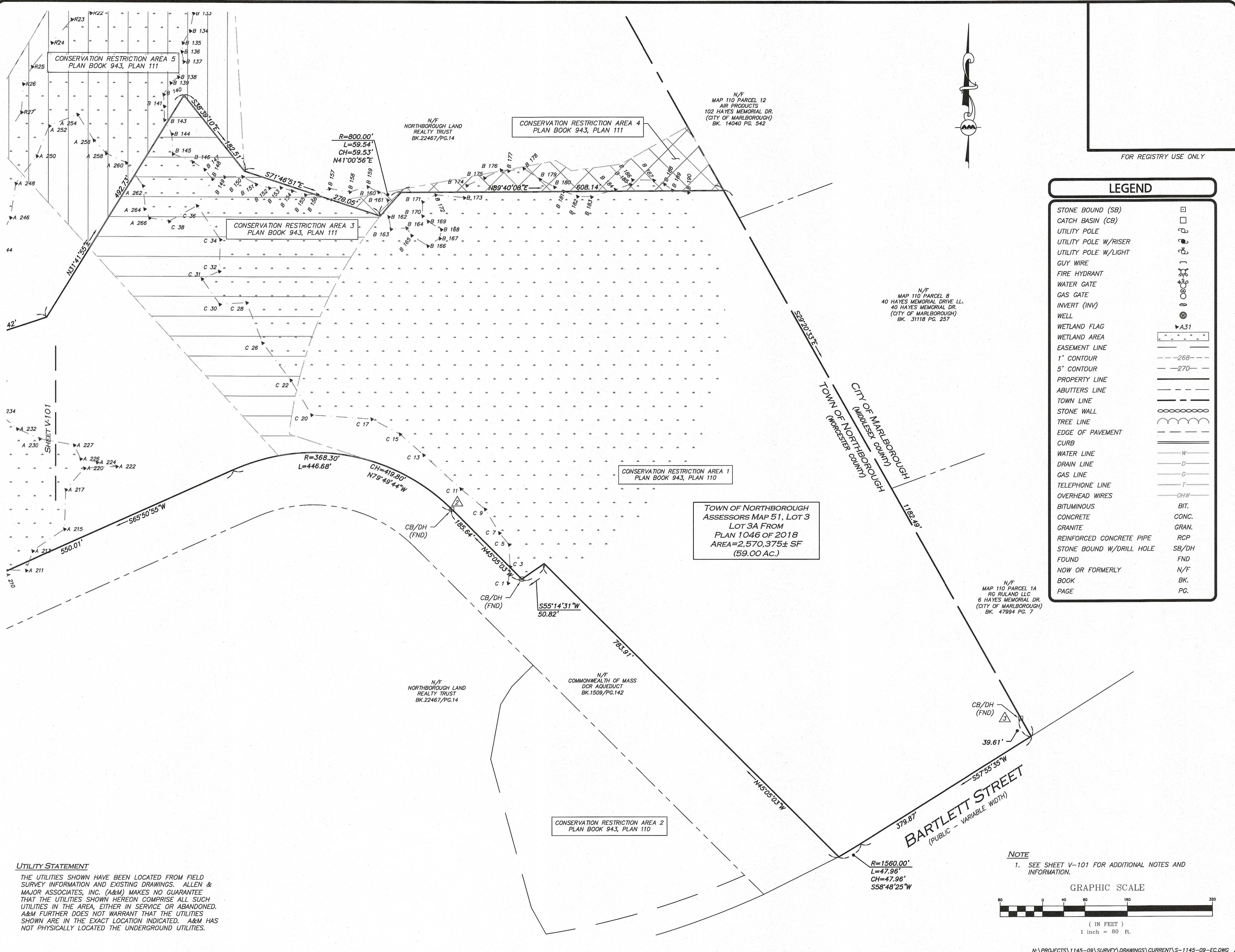
DRAFTED BY: KAC/COB CHECKED BY: NIL

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCIAL WAY, SUITE 5
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TEL: (781) 935-8899
FAX: (781) 935-2896

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DRAWING TITLE: **EXISTING CONDITIONS** SHEET NO. **V-101**



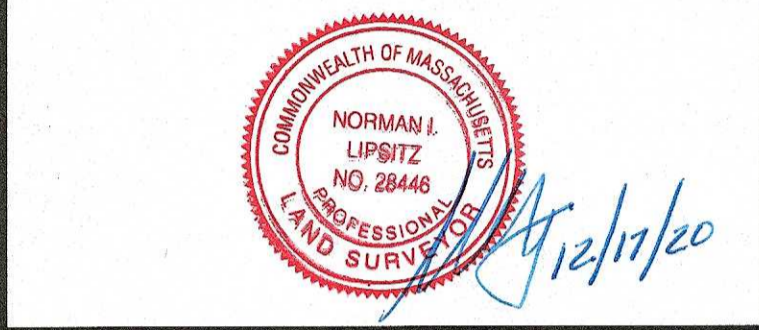
FOR REGISTRY USE ONLY

LEGEND

STONE BOUND (SB)	□
CATCH BASIN (CB)	□
UTILITY POLE	○
UTILITY POLE W/RISER	○
UTILITY POLE W/LIGHT	○
GUY WIRE	—
FIRE HYDRANT	○
WATER GATE	○
GAS GATE	○
INVERT (INV)	○
WELL	○
WETLAND FLAG	▲
WETLAND AREA	■
EASEMENT LINE	---
1' CONTOUR	---
5' CONTOUR	---
PROPERTY LINE	---
ABUTTERS LINE	---
TOWN LINE	---
STONE WALL	---
TREE LINE	---
EDGE OF PAVEMENT	---
CURB	---
WATER LINE	W
DRAIN LINE	D
GAS LINE	G
TELEPHONE LINE	T
OVERHEAD WIRES	OHW
BITUMINOUS	BIT.
CONCRETE	CONC.
GRANITE	GRAN.
REINFORCED CONCRETE PIPE	RCP
STONE BOUND W/DRILL HOLE	SB/DH
FOUND	FND
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

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 BURLINGTON, MA 01803

PROJECT:
PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION
 PARCELS B-1, B-2, H-1, & H-2
 0 BARTLETT STREET
 MAP 51, LOT 3 & MAP 66, LOT 16
 NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 12/17/20

SCALE: 1" = 80' DWG. NAME: S-1145-09-EC

DRAFTED BY: KAC/CDB CHECKED BY: NIL

PREPARED BY:

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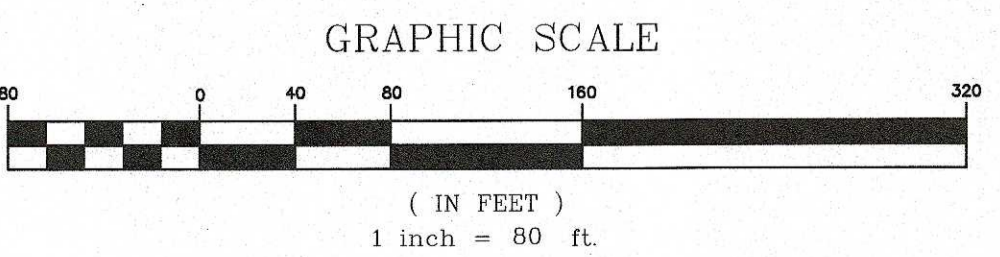
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DRAWING TITLE: **EXISTING CONDITIONS** SHEET No. **V-102**

UTILITY STATEMENT
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NOTE
 1. SEE SHEET V-101 FOR ADDITIONAL NOTES AND INFORMATION.

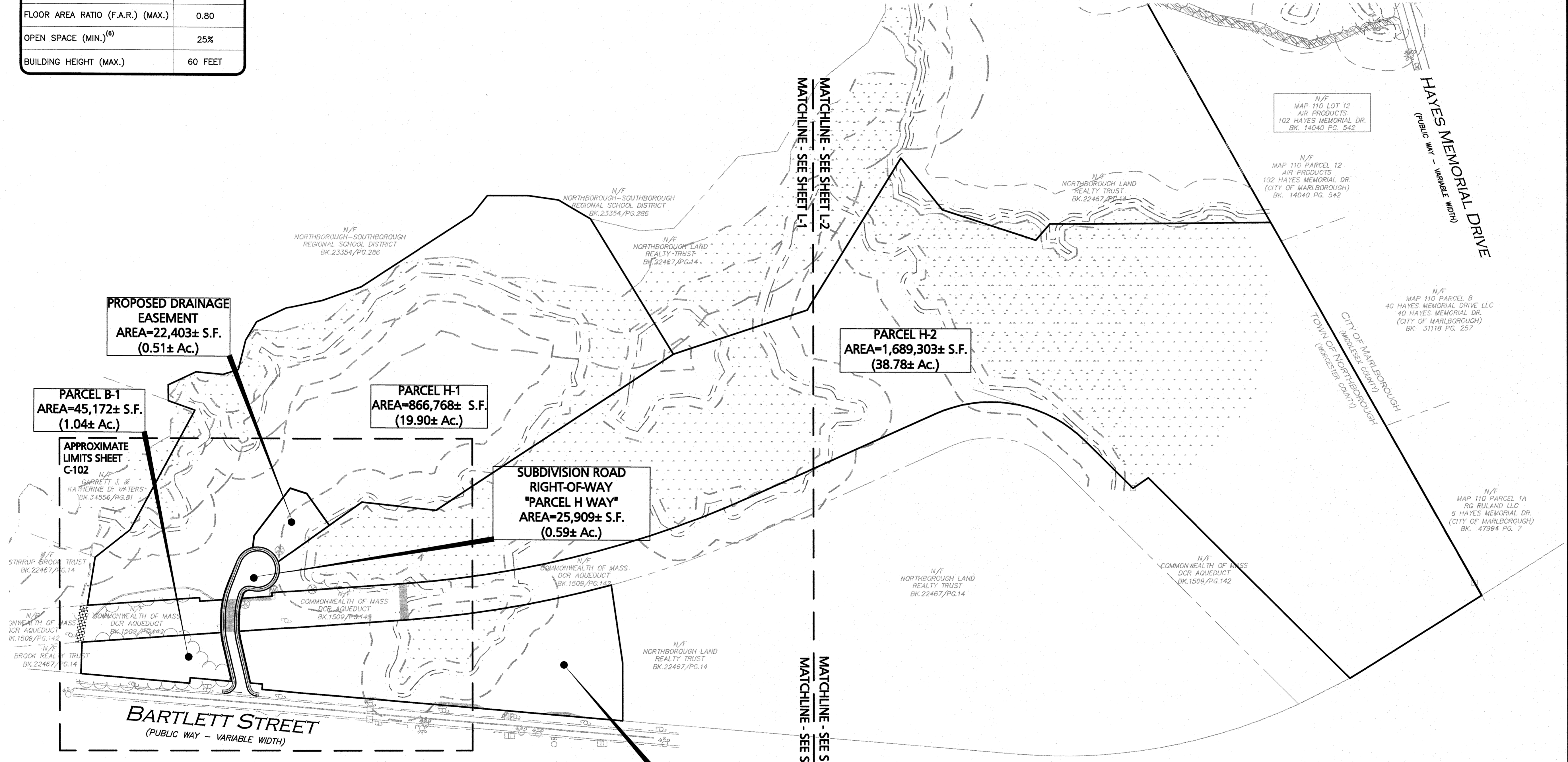


ZONING SUMMARY TABLE
ZONING DISTRICT: INDUSTRIAL - (I)

ITEM	REQUIRED
LOT AREA (MIN.) ⁽¹⁾	60,000 S.F.
LOT FRONTAGE (MIN.)	150 FEET
LOT WIDTH (MIN.) ⁽²⁾	NONE
FRONT SETBACK (MAX.) ⁽³⁾	NONE
FRONT YARD SETBACK (MIN.)	40 FEET
SIDE YARD SETBACK (MIN.) ⁽⁴⁾	20 FEET
REAR YARD SETBACK (MIN.)	25 FEET
LOT COVERAGE (MAX.) ⁽⁵⁾	50%
FLOOR AREA RATIO (F.A.R.) (MAX.)	0.80
OPEN SPACE (MIN.) ⁽⁶⁾	25%
BUILDING HEIGHT (MAX.)	60 FEET

- PARCEL B-1 DOES NOT MEET THE MINIMUM REQUIRED LOT AREA AND IS THEREFORE NON-BUILDABLE. PARCEL H-2 MEETS THE MINIMUM REQUIRED LOT AREA BUT DOES NOT HAVE SUFFICIENT BUILDABLE UPLAND DUE TO EXISTING WETLAND RESOURCE AREAS AND EXISTING AND PROPOSED CONSERVATION RESTRICTIONS AND THEREFORE SHOULD BE CONSIDERED NON-BUILDABLE.
- MINIMUM LOT WIDTH IS DEFINED AS: "THE REQUIRED MINIMUM LOT FRONTAGE EXTENDING FROM THE FRONT LOT LINE TO THE REAR BUILDING LINE OF THE MAIN BUILDING ON THE LOT" PER THE MOST CURRENT VERSION OF THE TOWN OF NORTHBOROUGH ZONING BYLAW.
- MAXIMUM FRONT SETBACK APPLIES ONLY TO NEW CONSTRUCTION.
- PER 7-06-030(C)(4)(B) SUPPLEMENTAL REGULATIONS OF THE NORTHBOROUGH ZONING BYLAWS, "IN THE INDUSTRIAL DISTRICT, THE MINIMUM SETBACK ALONG THE LOT LINE ADJACENT TO A RESIDENTIAL OR BUSINESS DISTRICT SHALL BE ONE HUNDRED (100) FEET FROM A RESIDENTIAL DISTRICT AND FIFTY (50) FEET FROM A BUSINESS DISTRICT. WHEN THE RESIDENTIAL ZONING DISTRICT BOUNDARY IS LOCATED IN OR AT A STREET, THE SETBACK MAY BE REDUCED BY THE WIDTH OF THE STREET WHICH IS IN THE RESIDENTIAL ZONE."
- LOT COVERAGE IS DEFINED IN THE TOWN OF NORTHBOROUGH ZONING BYLAW DEFINITIONS AS "THE PROPORTION OF THE AREA OF A LOT WHICH IS COVERED BY PRINCIPAL AND ACCESSORY STRUCTURES."
- PER 7-06-030(E)(1) SUPPLEMENTAL REGULATIONS OF THE NORTHBOROUGH ZONING BYLAWS, "NO MORE THAN FIFTY (50) PERCENT OF THE MINIMUM OPEN SPACE FOR ANY LOT AS REQUIRED IN THE TABLE OF DENSITY AND DIMENSIONAL REGULATIONS SHALL BE FRESHWATER WETLANDS, AS DEFINED IN THE M.G.L. C.131, § 40."

- NOTES:**
- ANY ALTERATION, MISUSE, OR RECALCULATION OF THE INFORMATION OR DATA CONTAINED IN THIS PLAN WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS - V-101 AND V-102" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED DECEMBER 17, 2020, ORIGINAL SCALE 1"=80', AND WAS GATHERED FROM AN ON-THE-GROUND SURVEY.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE NOTICE OF APPROVAL FROM THE TOWN OF NORTHBOROUGH PLANNING BOARD WAS RECEIVED AND RECORDED, AND NO NOTICE OF APPEAL HAS BEEN FILED IN THIS OFFICE.

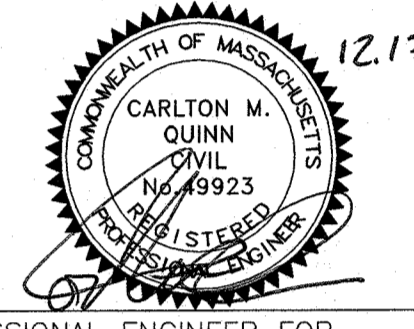
TOWN CLERK _____ DATE _____

SUBJECT TO A COVENANT DATE _____ AND DULY EXECUTED, RUNNING WITH THE LAND TO BE RECORDED BY OR FOR THE OWNER OF RECORD.

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

TOWN OF NORTHBOROUGH PLANNING BOARD

DATE: _____

 12.17.20

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
THE GUTIERREZ COMPANY
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

OWNER:
NORTHBOROUGH LAND REALTY TRUST
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

PROJECT:
PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION
PARCEL H WAY
 0 BARTLETT STREET
 MAP 51 LOT 3 & MAP 66 LOT 16
 NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: DEC 17, 2020

SCALE: 1" = 150' DWG. NAME: C-1145-09

DESIGNED BY: DMR/NCD CHECKED BY: CMQ

PREPARED BY:

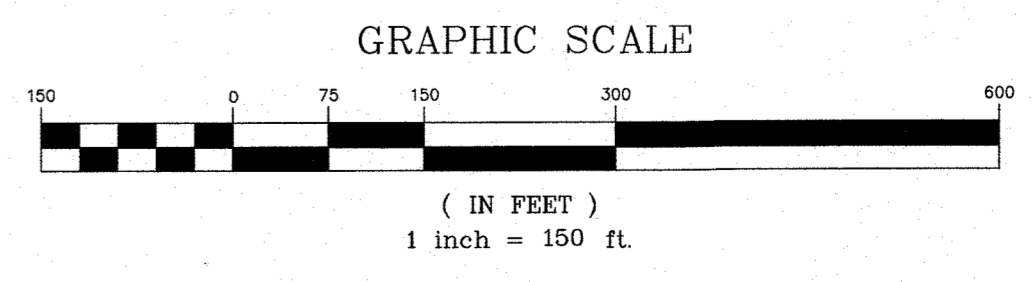


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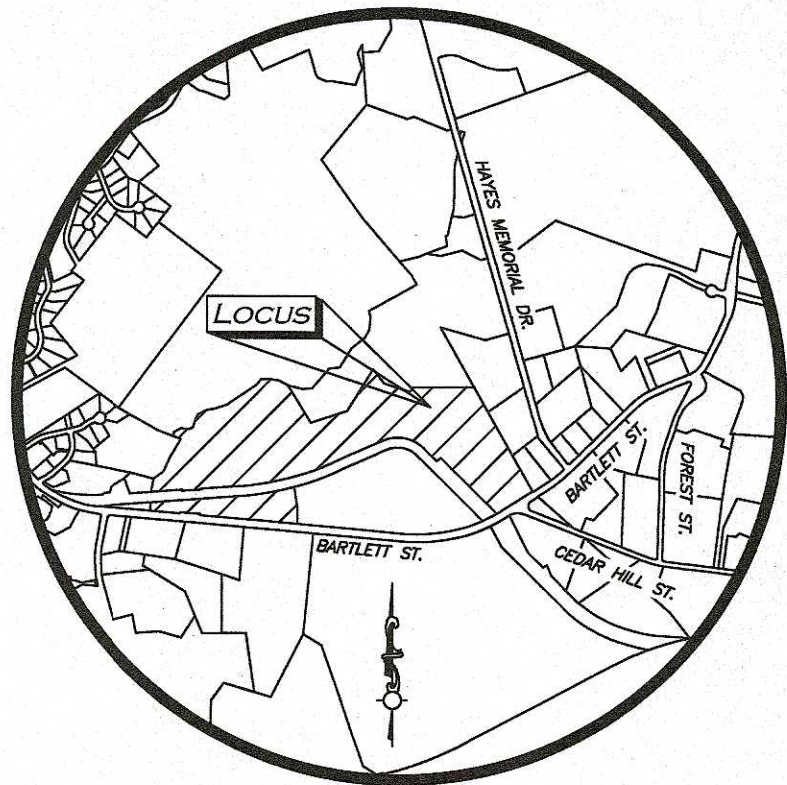
DRAWING TITLE: INDEX & ZONING SUMMARY PLAN SHEET No. C-003



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 1-888-DIG-SAFE
 1-888-344-7233



LOCUS MAP
(NOT TO SCALE)

LOCUS REFERENCES

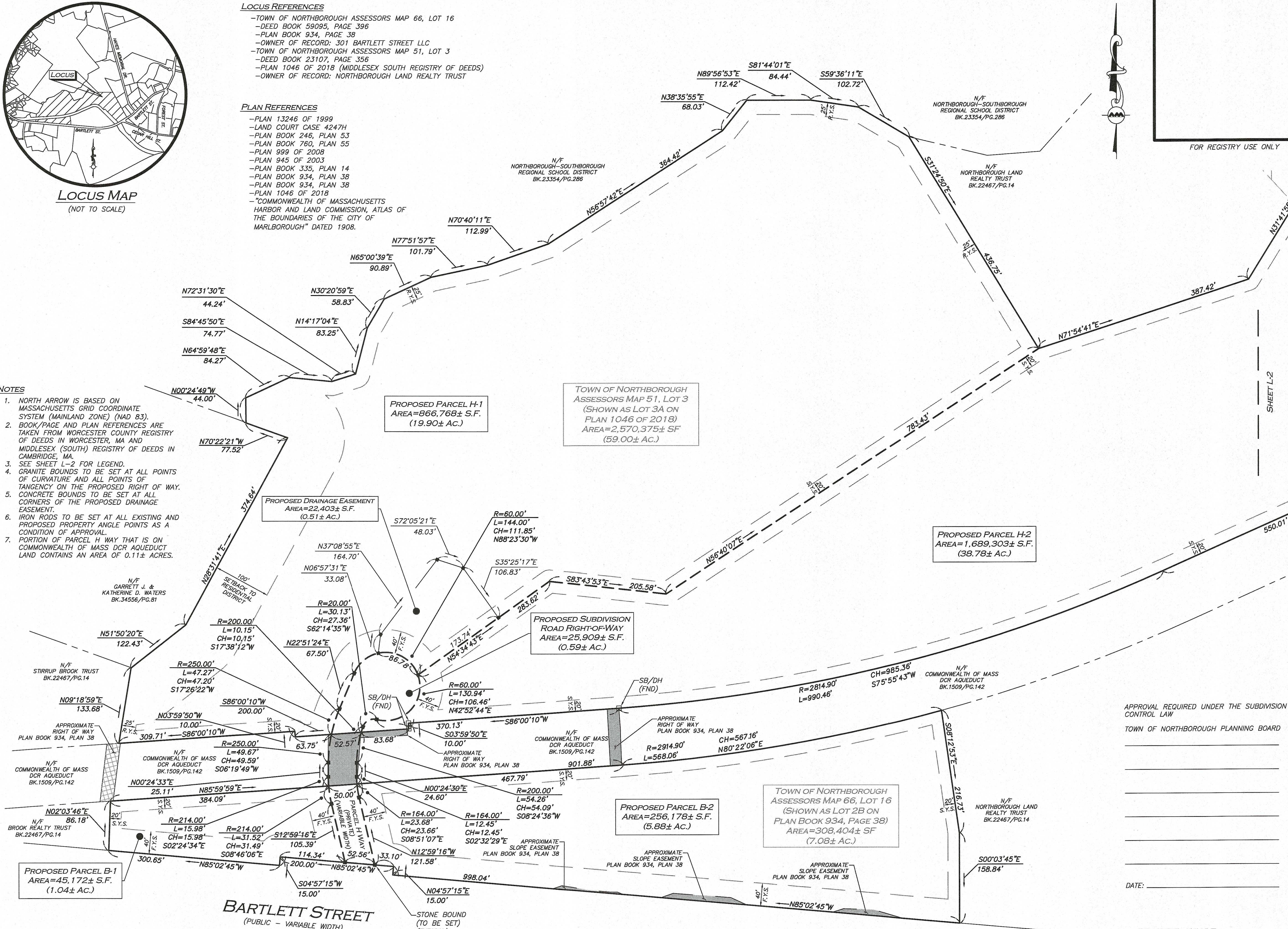
- TOWN OF NORTHBOROUGH ASSESSORS MAP 66, LOT 16
- DEED BOOK 59095, PAGE 396
- PLAN BOOK 934, PAGE 38
- OWNER OF RECORD: 301 BARTLETT STREET LLC
- TOWN OF NORTHBOROUGH ASSESSORS MAP 51, LOT 3
- DEED BOOK 23107, PAGE 356
- PLAN 1046 OF 2018 (MIDDLESEX SOUTH REGISTRY OF DEEDS)
- OWNER OF RECORD: NORTHBOROUGH LAND REALTY TRUST

PLAN REFERENCES

- PLAN 13246 OF 1999
- LAND COURT CASE 4247H
- PLAN BOOK 246, PLAN 53
- PLAN BOOK 760, PLAN 55
- PLAN 999 OF 2008
- PLAN 945 OF 2003
- PLAN BOOK 335, PLAN 14
- PLAN BOOK 934, PLAN 38
- PLAN BOOK 934, PLAN 38
- PLAN 1046 OF 2018
- "COMMONWEALTH OF MASSACHUSETTS HARBOR AND LAND COMMISSION, ATLAS OF THE BOUNDARIES OF THE CITY OF MARLBOROUGH" DATED 1908.

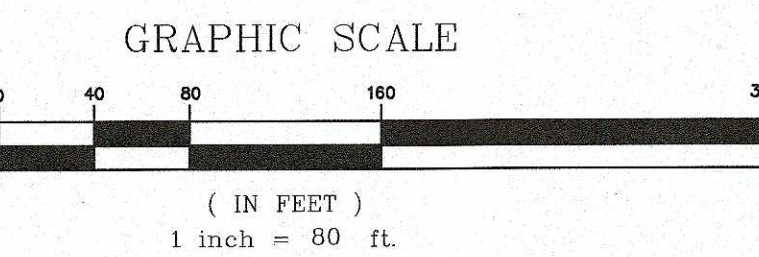
NOTES

- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
- BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WORCESTER COUNTY REGISTRY OF DEEDS IN WORCESTER, MA AND MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
- SEE SHEET L-2 FOR LEGEND.
- GRANITE BOUNDS TO BE SET AT ALL POINTS OF CURVATURE AND ALL POINTS OF TANGENCY ON THE PROPOSED RIGHT OF WAY.
- CONCRETE BOUNDS TO BE SET AT ALL CORNERS OF THE PROPOSED DRAINAGE EASEMENT.
- IRON RODS TO BE SET AT ALL EXISTING AND PROPOSED PROPERTY ANGLE POINTS AS A CONDITION OF APPROVAL.
- PORTION OF PARCEL H WAY THAT IS ON COMMONWEALTH OF MASS DCR AQUEDUCT LAND CONTAINS AN AREA OF 0.11± ACRES.



APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
TOWN OF NORTHBOROUGH PLANNING BOARD

DATE: _____



N:\PROJECTS\1145-09\SURVEY\DRAWINGS\CURRENT\S-1145-09-LOTING.DWG
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PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.
Dec 17, 2020



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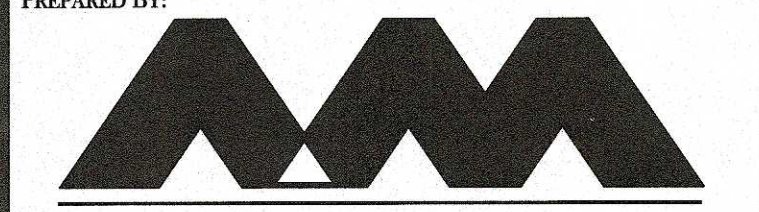
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PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION PARCELS B-1, B-2, H-1, & H-2 0 BARTLETT STREET MAP 51, LOT 3 & MAP 66, LOT 16 NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 12/17/20

SCALE: 1" = 80' DWG. NAME: S1145-09-LOTING

DRAFTED BY: COB/KAC CHECKED BY: NL

PREPARED BY:



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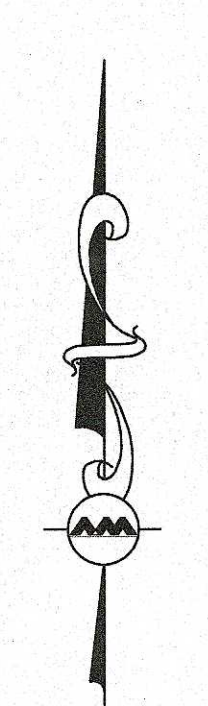
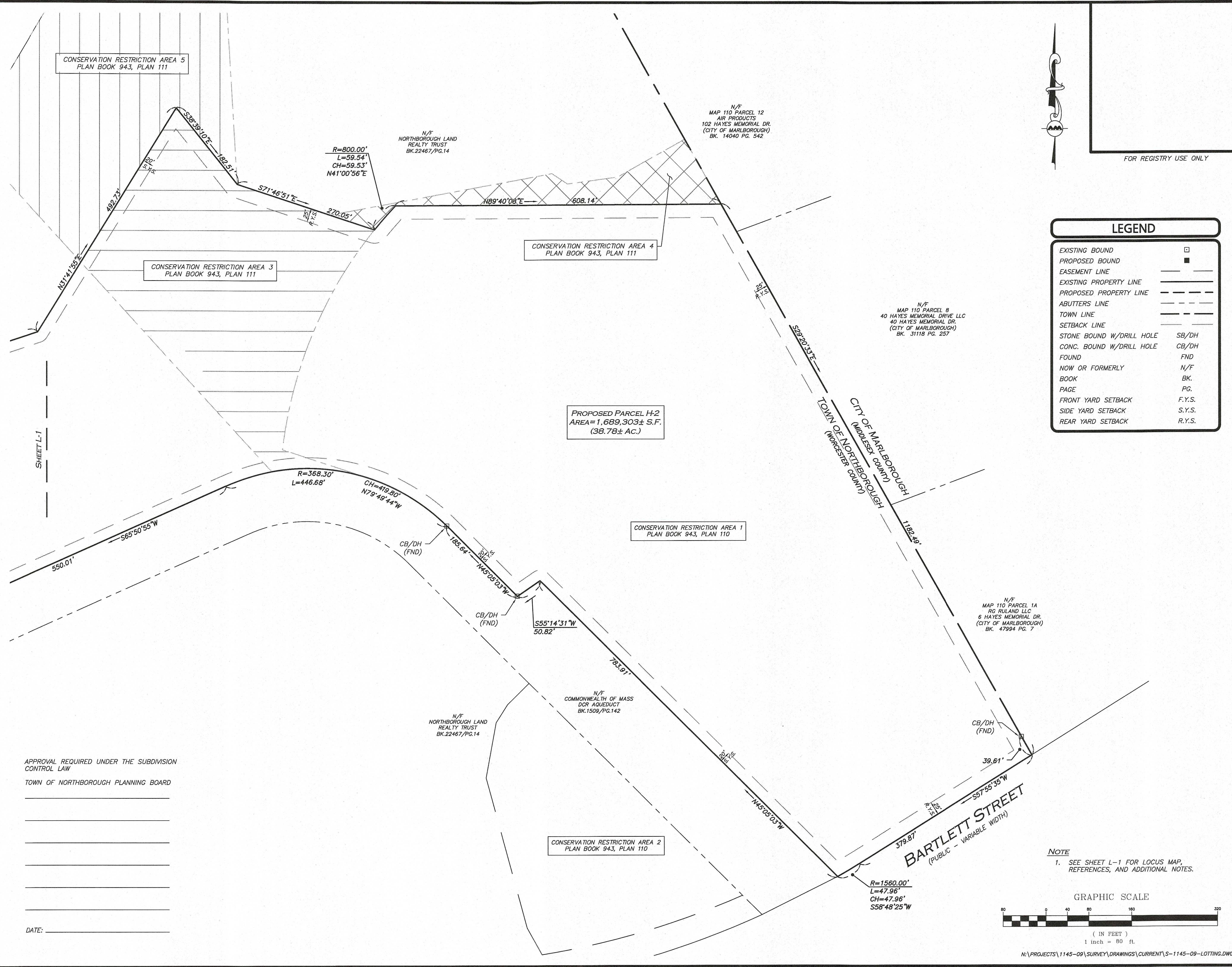
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DRAWING TITLE: SHEET NO.

DEFINITIVE SUBDIVISION LOTTING PLAN L-1

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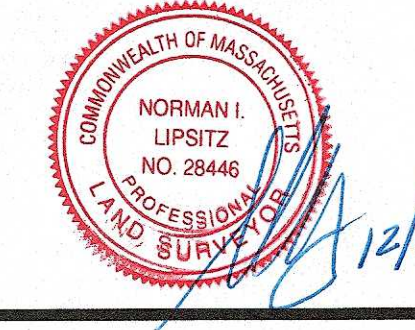


FOR REGISTRY USE ONLY

LEGEND	
EXISTING BOUND	□
PROPOSED BOUND	■
EASEMENT LINE	---
EXISTING PROPERTY LINE	---
PROPOSED PROPERTY LINE	---
ABUTTERS LINE	---
TOWN LINE	---
SETBACK LINE	---
STONE BOUND W/DRILL HOLE	SB/DH
CONC. BOUND W/DRILL HOLE	CB/DH
FOUND	FND
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.
FRONT YARD SETBACK	F.Y.S.
SIDE YARD SETBACK	S.Y.S.
REAR YARD SETBACK	R.Y.S.

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PROJECT NO. 1145-09 DATE: 12/17/20
 SCALE: 1" = 80' DWG. NAME: S1145-09-LOT16
 DRAFTED BY: COB/KAC CHECKED BY: NL

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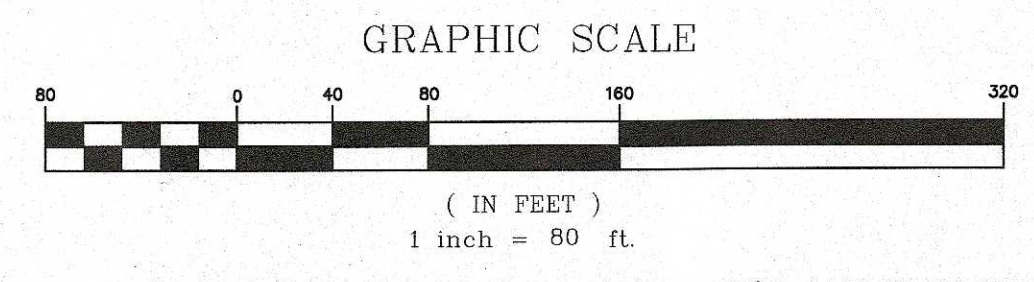
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DRAWING TITLE: **DEFINITIVE SUBDIVISION LOTTING PLAN** SHEET No. **L-2**

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
 TOWN OF NORTHBOROUGH PLANNING BOARD

 DATE: _____

NOTE
 1. SEE SHEET L-1 FOR LOCUS MAP, REFERENCES, AND ADDITIONAL NOTES.



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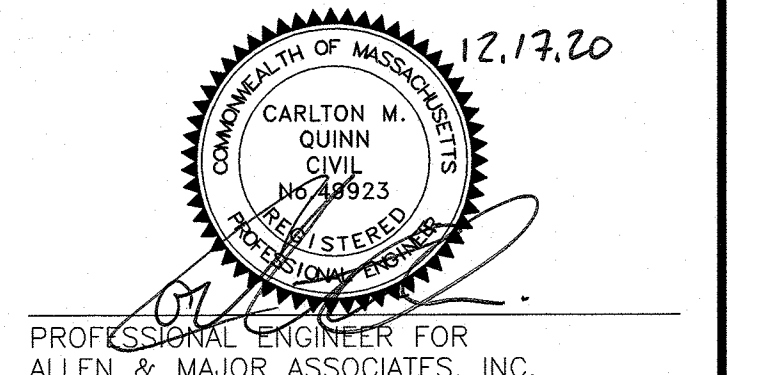
TOWN CLERK _____ DATE _____

SUBJECT TO A COVENANT DATE _____ AND DULY EXECUTED, RUNNING WITH THE LAND TO BE RECORDED BY OR FOR THE OWNER OF RECORD.

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

TOWN OF NORTHBOROUGH PLANNING BOARD

DATE: _____



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
THE GUTIERREZ COMPANY
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

OWNER:
NORTHBOROUGH LAND REALTY TRUST
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

PROJECT:
PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION
PARCEL H WAY
0 BARTLETT STREET
MAP 51 LOT 3 & MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: DEC 17, 2020

SCALE: 1" = 40' DWG. NAME: C-1145-09

DESIGNED BY: DMR/NCD CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com
 100 COMMERCE WAY, SUITE 5
 WOBURN, MA 01801
 TEL: (781) 935-5889
 FAX: (781) 935-5896

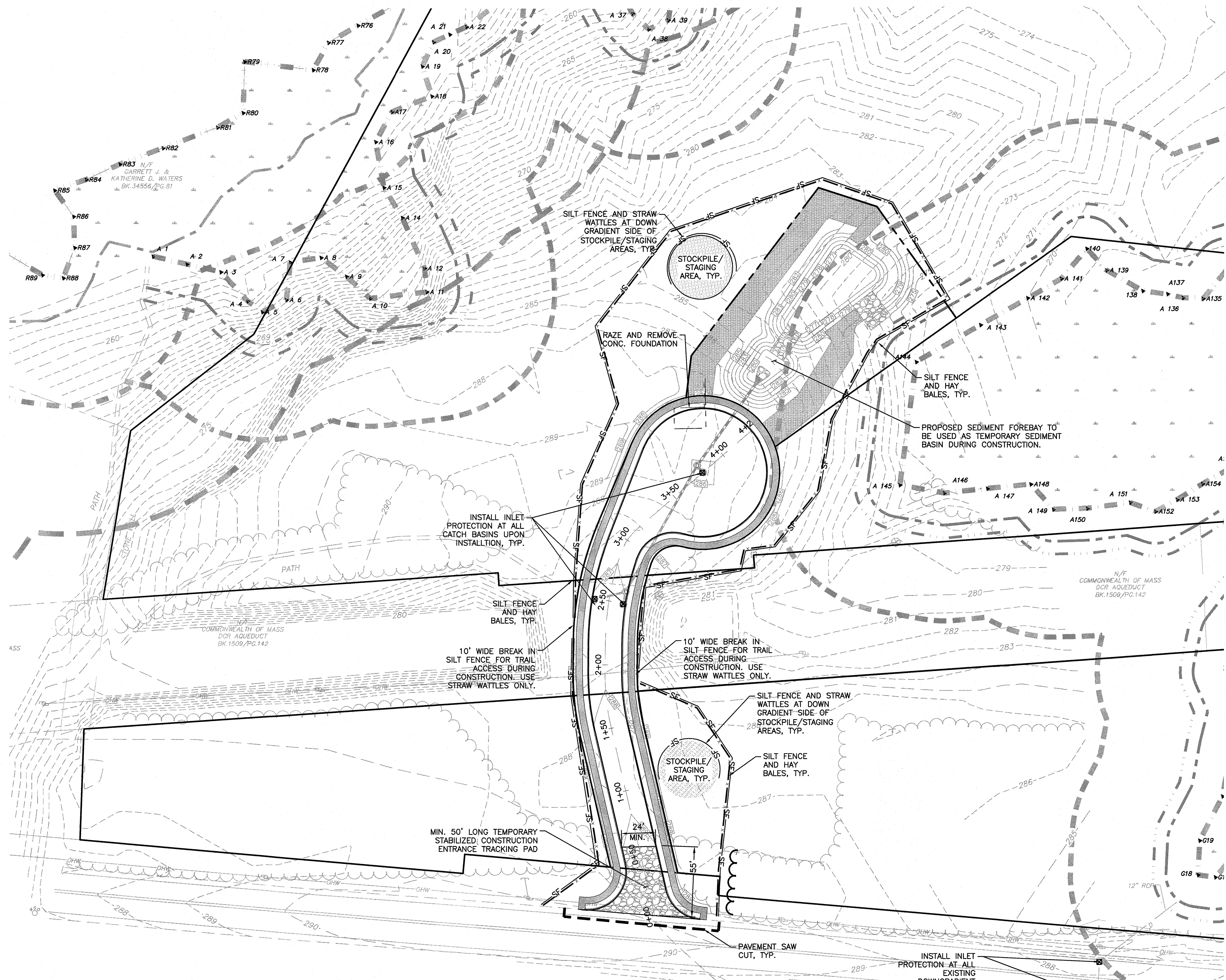
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DRAWING TITLE: _____ SHEET No. _____

EROSION CONTROL PLAN C-101

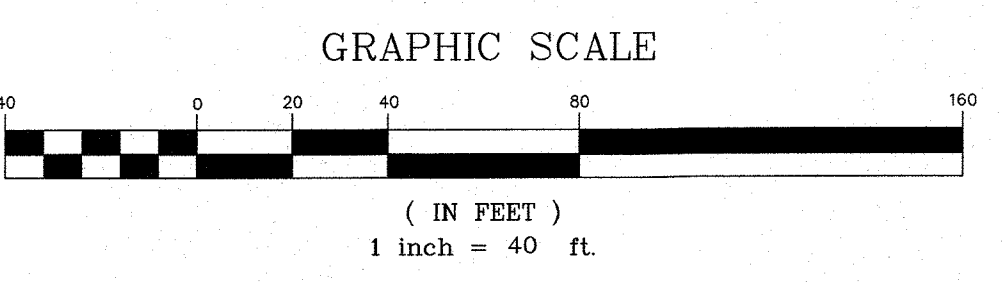
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LEGEND

SILT FENCE	— SF —
TUBULAR BARRIER	— X — X —
CATCH BASIN FILTER	☒
STABILIZED ENTRANCE	▨
STOCKPILE/STAGING AREA	▩
SAW CUT	— S — S —
DEMOLITION ITEM	— D — D —

- NOTES:**
1. ANY ALTERATION, MISUSE, OR RECALCULATION OF THE INFORMATION OR DATA CONTAINED IN THIS PLAN WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 2. THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" SHEETS V-101 & V-102, PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED DECEMBER 17, 2020, ORIGINAL SCALE 1"=80', AND WAS GATHERED FROM AN ON-THE-GROUND SURVEY.
 3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 4. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF NORTHBOROUGH DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
 DIGSAFE: 1-800-344-7233
 NORTHBOROUGH DEPT. OF PUBLIC WORKS: (508) 393-5030
 5. SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
 6. ALL ELEVATIONS REFER TO NAVD88 DATUM.
 7. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
 8. ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE EQUIPPED WITH SILT SACKS (OR APPROVED EQUAL). CONTRACTOR SHALL INSTALL INLET PROTECTION DEVICES AT ALL DOWNGRADIENT CATCH BASINS ALONG BARTLETT STREET. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
 9. ALL ON-SITE DEMOLITION INCLUDING ANY CUT & CAP OF UTILITIES, IF APPLICABLE, SHALL BE PERFORMED TO TOWN OF NORTHBOROUGH AND SERVICE PROVIDER STANDARDS.



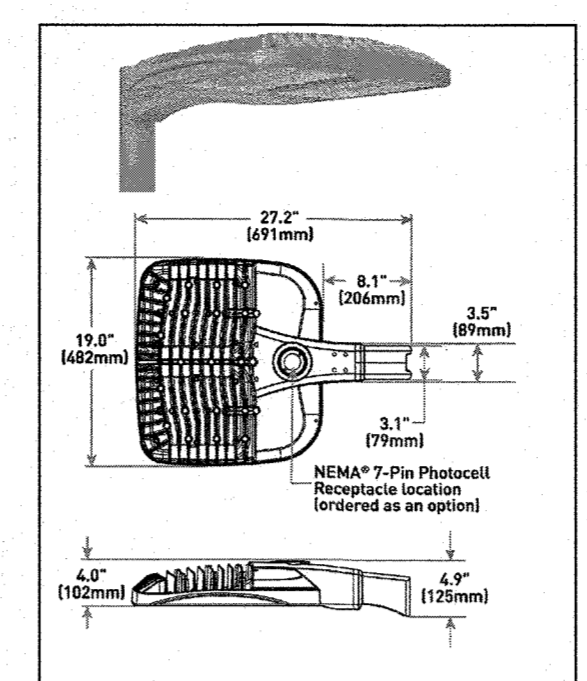
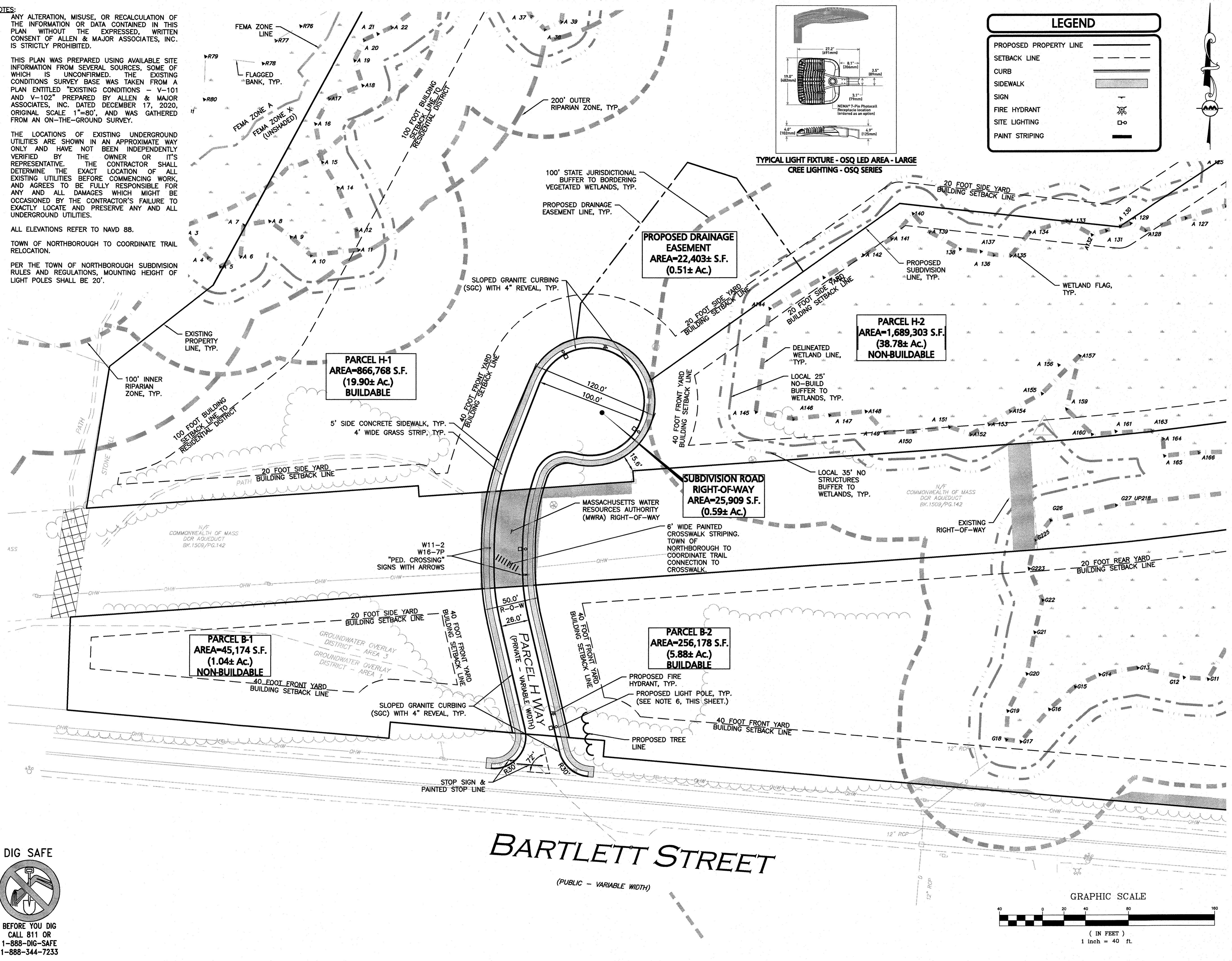
DIG SAFE

BEFORE YOU DIG
 CALL 811 OR
 1-888-DIG-SAFE
 1-888-344-7233

BARTLETT STREET
 (PUBLIC - VARIABLE WIDTH)

N:\PROJECTS\1145-09\CIVIL\DRAWINGS\CURRENT\DEFINITIVE\SUBDIVISION\C-1145-09 - EROSION CONTROL PLAN.DWG

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 4. ALL ELEVATIONS REFER TO NAVD 88.
 5. TOWN OF NORTHBOROUGH TO COORDINATE TRAIL RELOCATION.
 6. PER THE TOWN OF NORTHBOROUGH SUBDIVISION RULES AND REGULATIONS, MOUNTING HEIGHT OF LIGHT POLES SHALL BE 20'.



LEGEND	
PROPOSED PROPERTY LINE	---
SETBACK LINE	---
CURB	---
SIDEWALK	---
SIGN	⊕
FIRE HYDRANT	⊕
SITE LIGHTING	⊕
PAINT STRIPING	---

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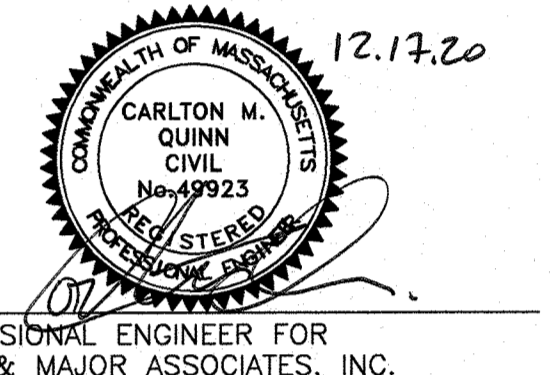
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TOWN OF NORTHBOROUGH PLANNING BOARD

DATE: _____



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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THE GUTIERREZ COMPANY
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

OWNER:
NORTHBOROUGH LAND REALTY TRUST
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

PROJECT:
PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION PARCEL H WAY
 0 BARTLETT STREET
 MAP 51 LOT 3 & MAP 66 LOT 16
 NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: DEC 17, 2020

SCALE: 1" = 40' DWG. NAME: C-1145-09

DESIGNED BY: DMR/NCD CHECKED BY: CMQ

PREPARED BY:

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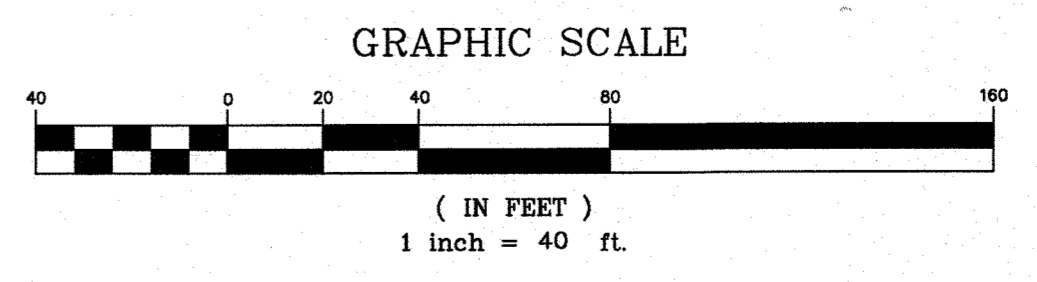
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DRAWING TITLE: LAYOUT AND MATERIALS PLAN SHEET No. C-102

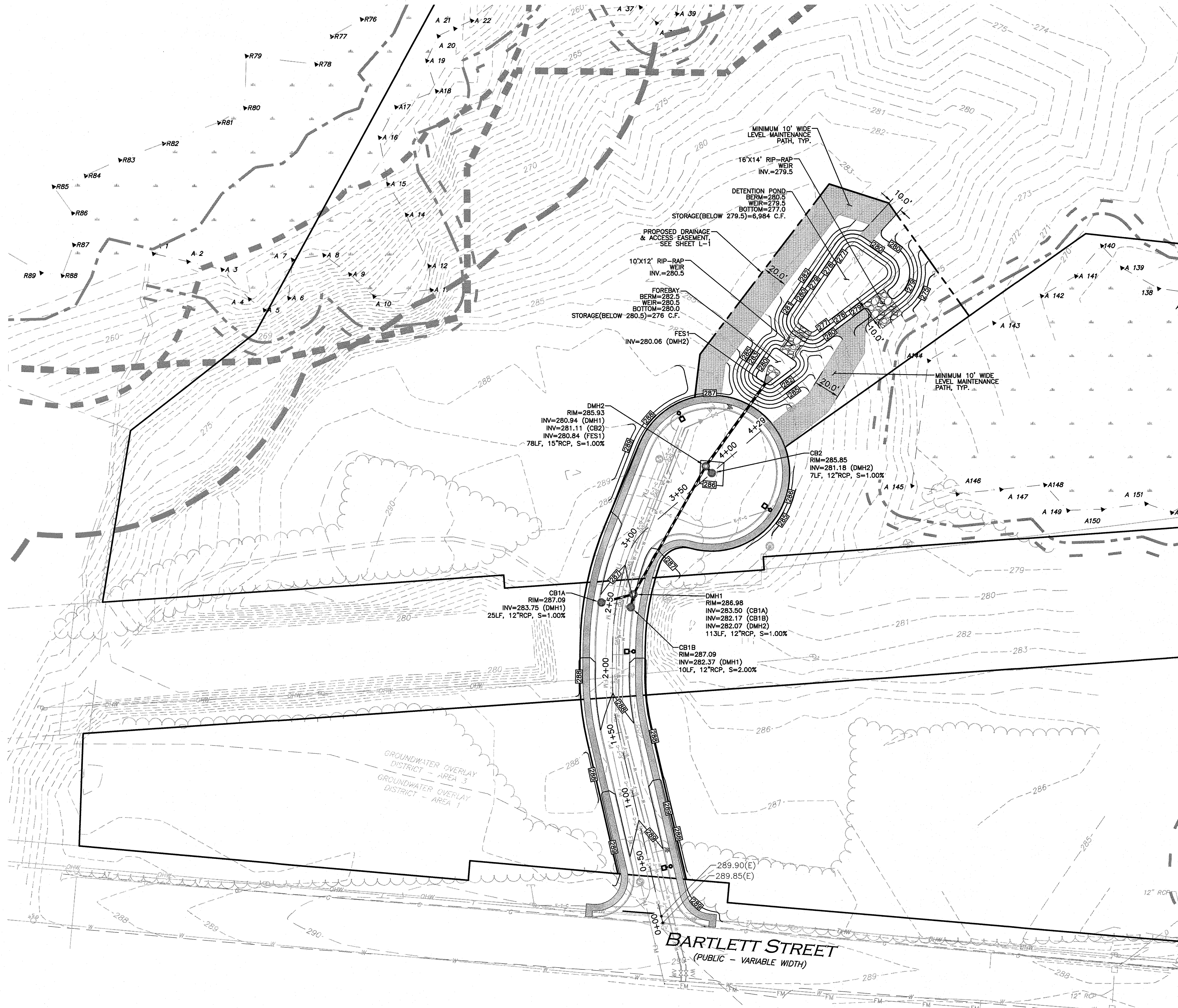
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BARTLETT STREET
 (PUBLIC - VARIABLE WIDTH)



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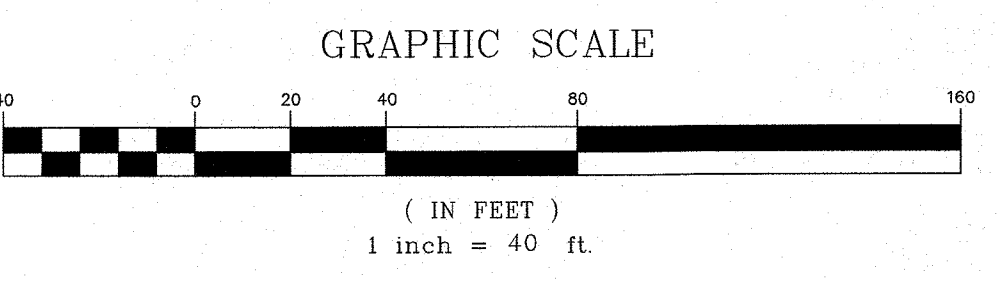


LEGEND	
DRAIN MANHOLE	
CATCH BASIN	
FLARED END SECTION	
DRAIN LINE	
RIPRAP	
MAINTENANCE PATH	
5' CONTOUR	
1' CONTOUR	
SPOT GRADE	

STORMWATER SIZING CALCULATIONS

VOLUME PROVIDED IN FOREBAY = 276 CF
 VOLUME PROVIDED IN DETENTION POND = 6,984 CF
 REQUIRED WATER QUALITY VOLUME (1-INCH)
 $WQV = (1IN) * (IMPERVIOUS AREA)$
 $WQV = (1IN) / (12IN/FT) * (21,738 SF) = 1,812 CF < 6,984 CF$
 REQUIRED RECHARGE VOLUME (SOIL TYPE A)
 $F = TARGET DEPTH FACTOR = 0.6IN$
 $R_v = (F) * (IMPERVIOUS AREA)$
 $R_v = (0.6IN) / (12IN/FT) * (21,738 SF) = 1,087 CF < 6,984 CF$
 REQUIRED FOREBAY VOLUME
 $V = (0.1IN) * (IMPERVIOUS AREA)$
 $V = (0.1IN) / (12IN/FT) * (21,738 SF) = 182 CF < 276 CF$
 DETENTION POND DRAW DOWN TIME (HSG A)
 RAWLS RATE = 2.41IN/HR
 $T_d = (STORAGE VOLUME) / (RAWLS RATE) * (BOTTOM AREA)$
 $T_d = (6,984 CF) / (2.41IN/HR) / (12IN/FT) * (1998 SF)$
 $T_d = (6,984 CF) / (401 CF/HR) = 17.5 HOURS < 72 HOURS$
 FOREBAY DRAW DOWN TIME (HSG A)
 RAWLS RATE = 2.41IN/HR
 $T_d = (STORAGE VOLUME) / (RAWLS RATE) * (BOTTOM AREA)$
 $T_d = (276 CF) / (2.41IN/HR) / (12IN/FT) * (488 SF)$
 $T_d = (276 CF) / (97 CF/HR) = 2.8 HOURS < 72 HOURS$

- NOTES:
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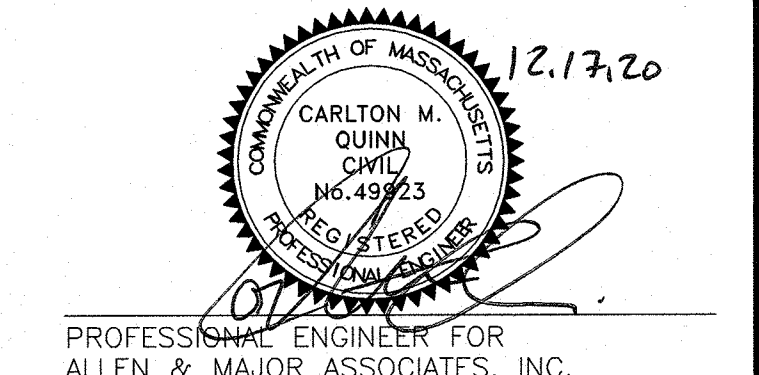
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TOWN OF NORTHBOROUGH PLANNING BOARD

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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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THE GUTIERREZ COMPANY
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

OWNER:
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 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

PROJECT:
PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION
PARCEL H WAY
 0 BARTLETT STREET
 MAP 51 LOT 3 & MAP 66 LOT 16
 NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: DEC 17, 2020

SCALE: 1" = 40' DWG. NAME: C-1145-09

DESIGNED BY: DMR/NCD CHECKED BY: CMQ

PREPARED BY:



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 civil engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com

100 COMMERCE WAY, SUITE 5
 WOBURN, MA 01801
 TEL: (781) 935-6889
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DRAWING TITLE: GRADING & DRAINAGE PLAN SHEET No. C-103

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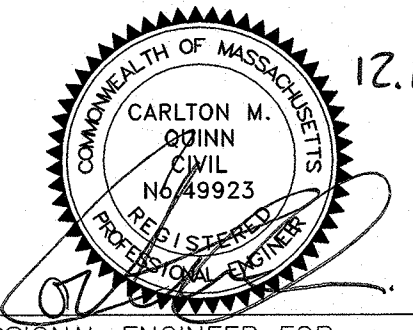
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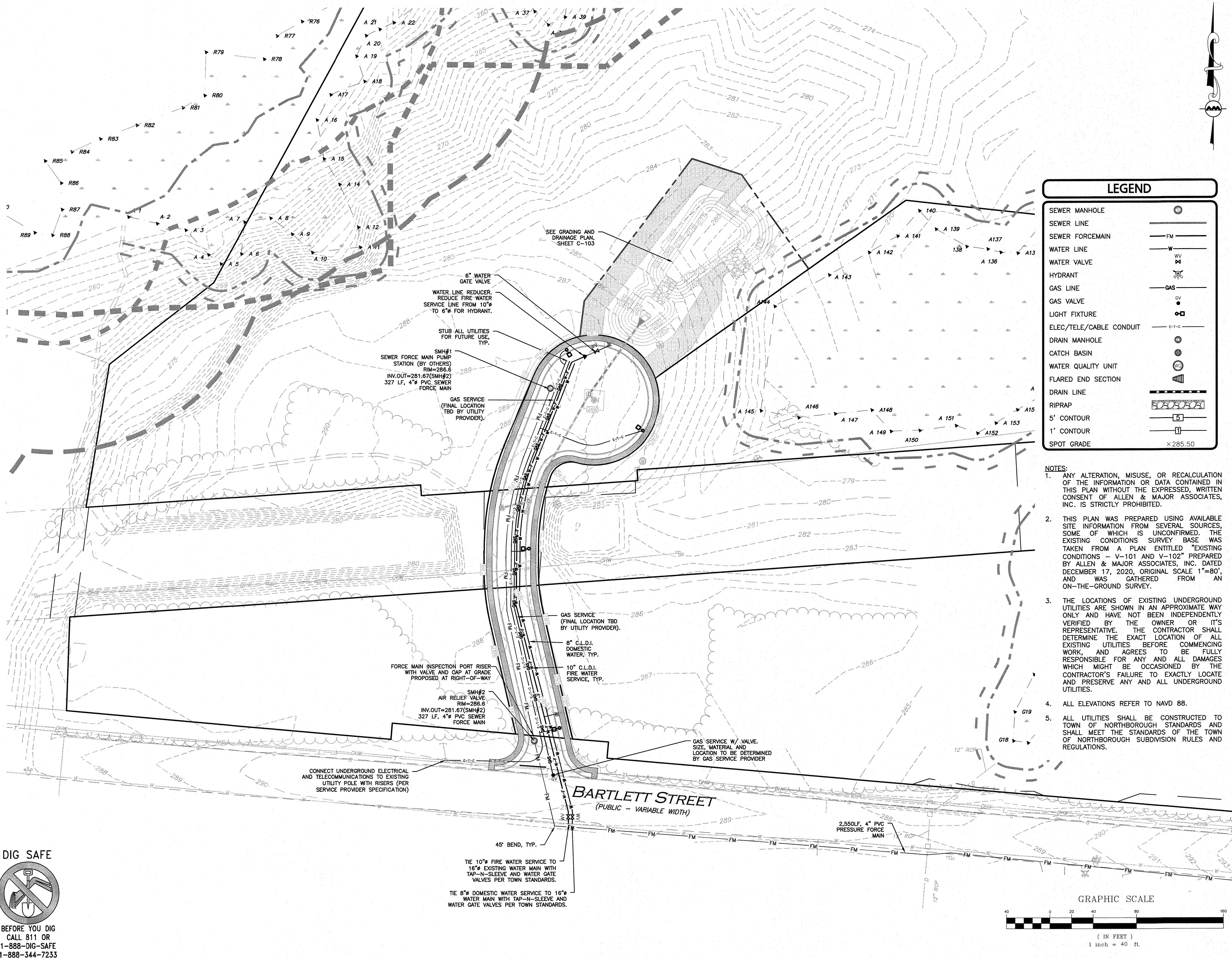
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DRAWING TITLE: _____ SHEET No. _____

UTILITIES PLAN C-104

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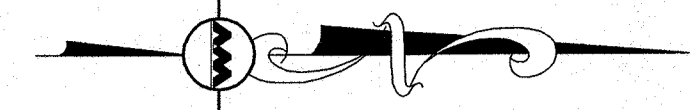
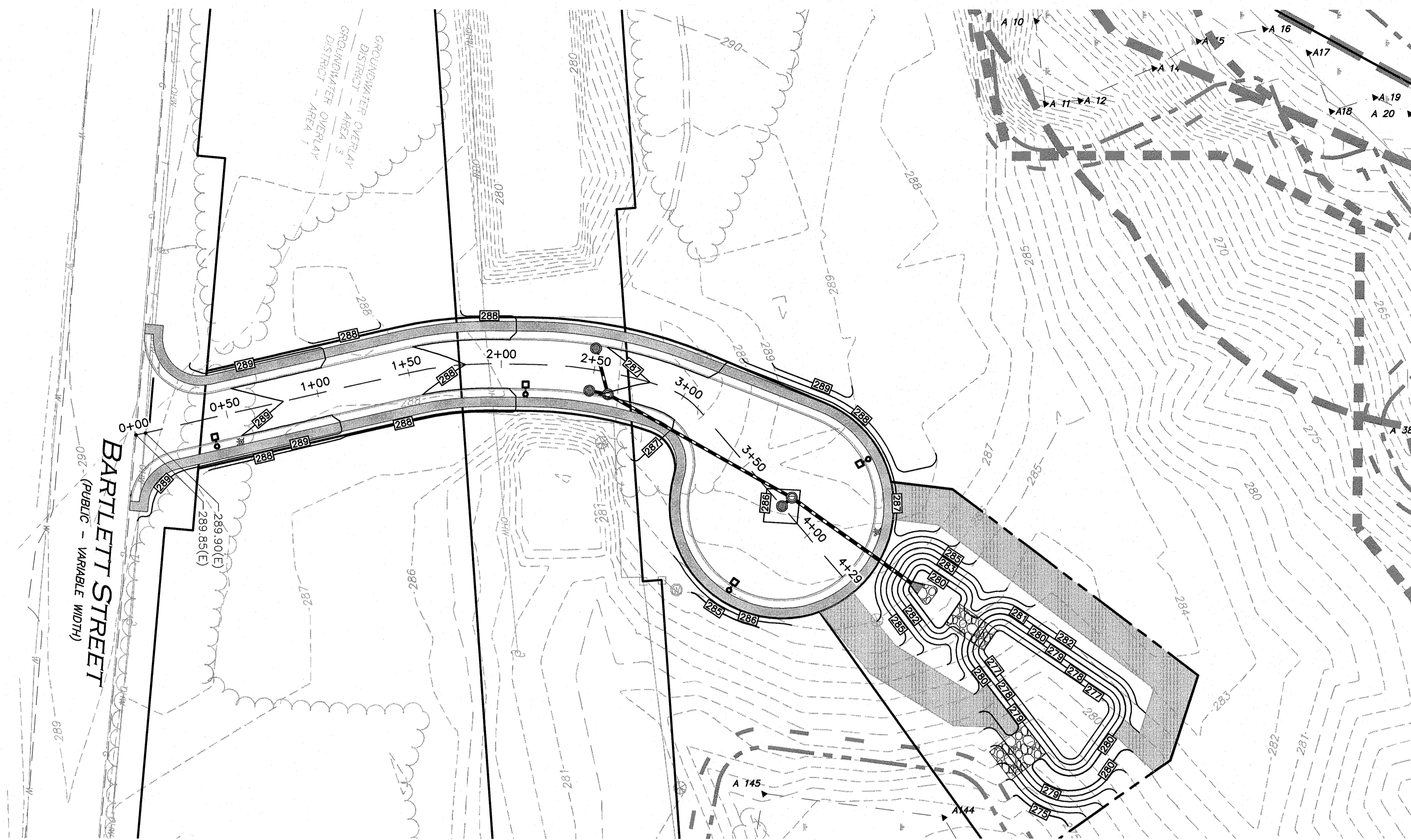


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DRAIN MANHOLE	
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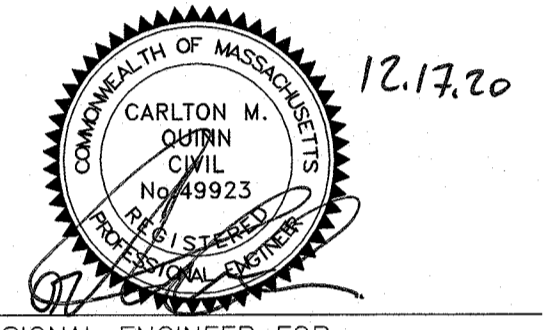
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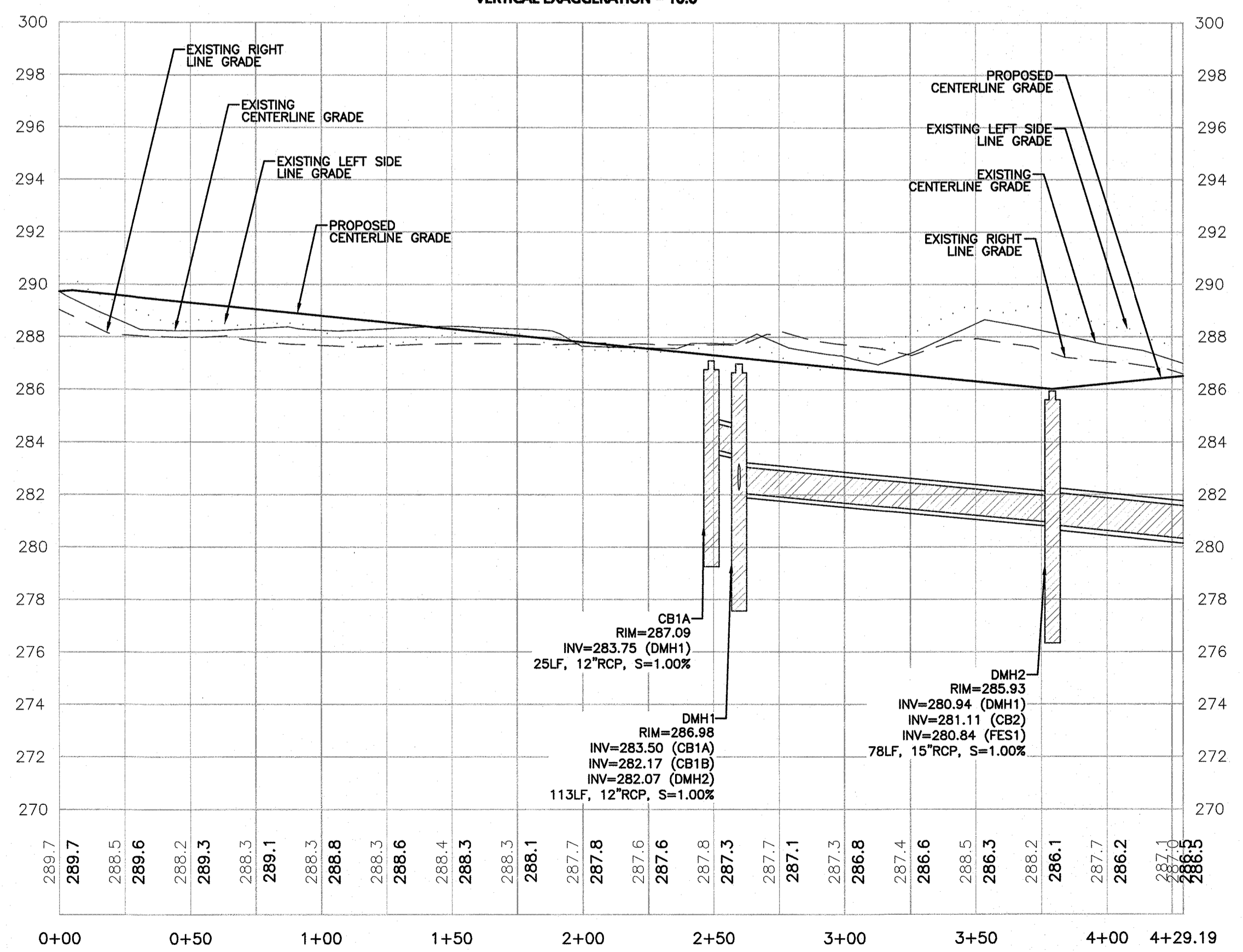
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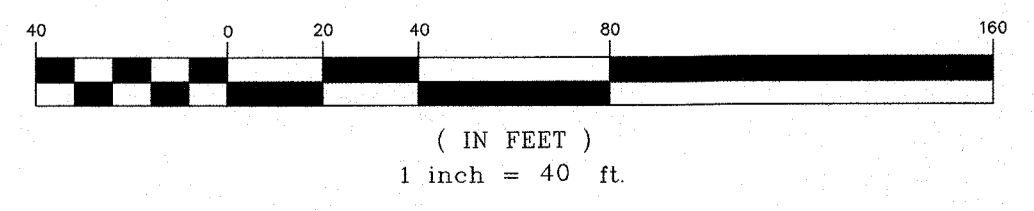
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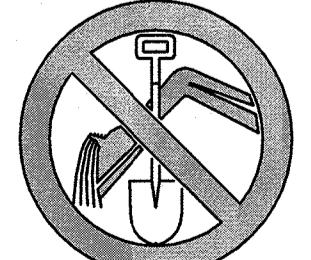
SUBDIVISION ROAD PROFILE
 VERTICAL EXAGGERATION = 10.0



GRAPHIC SCALE

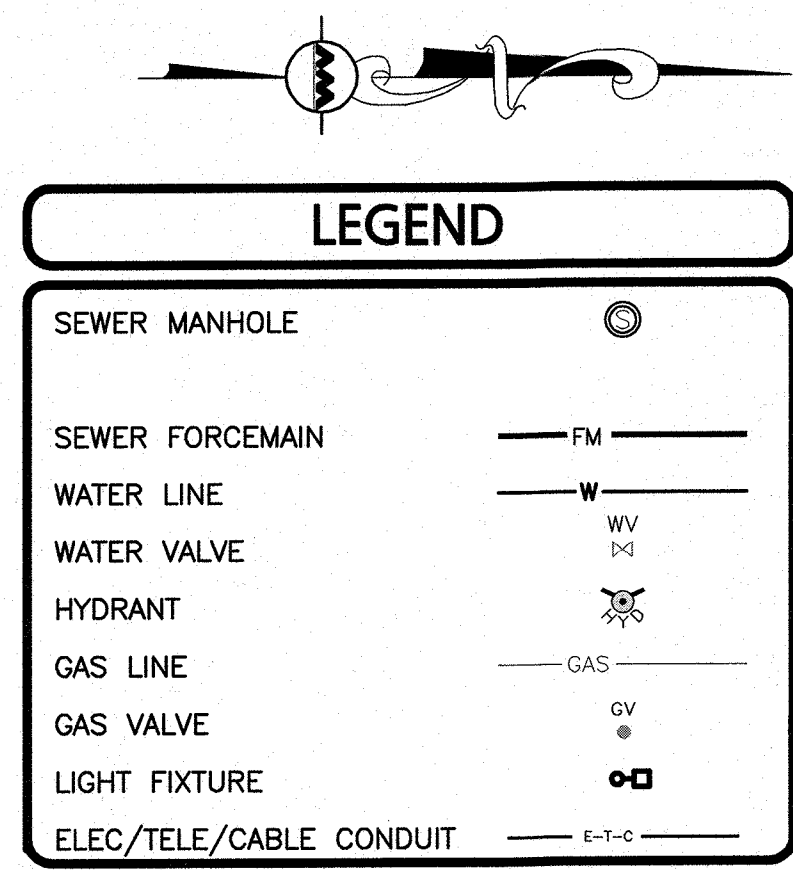
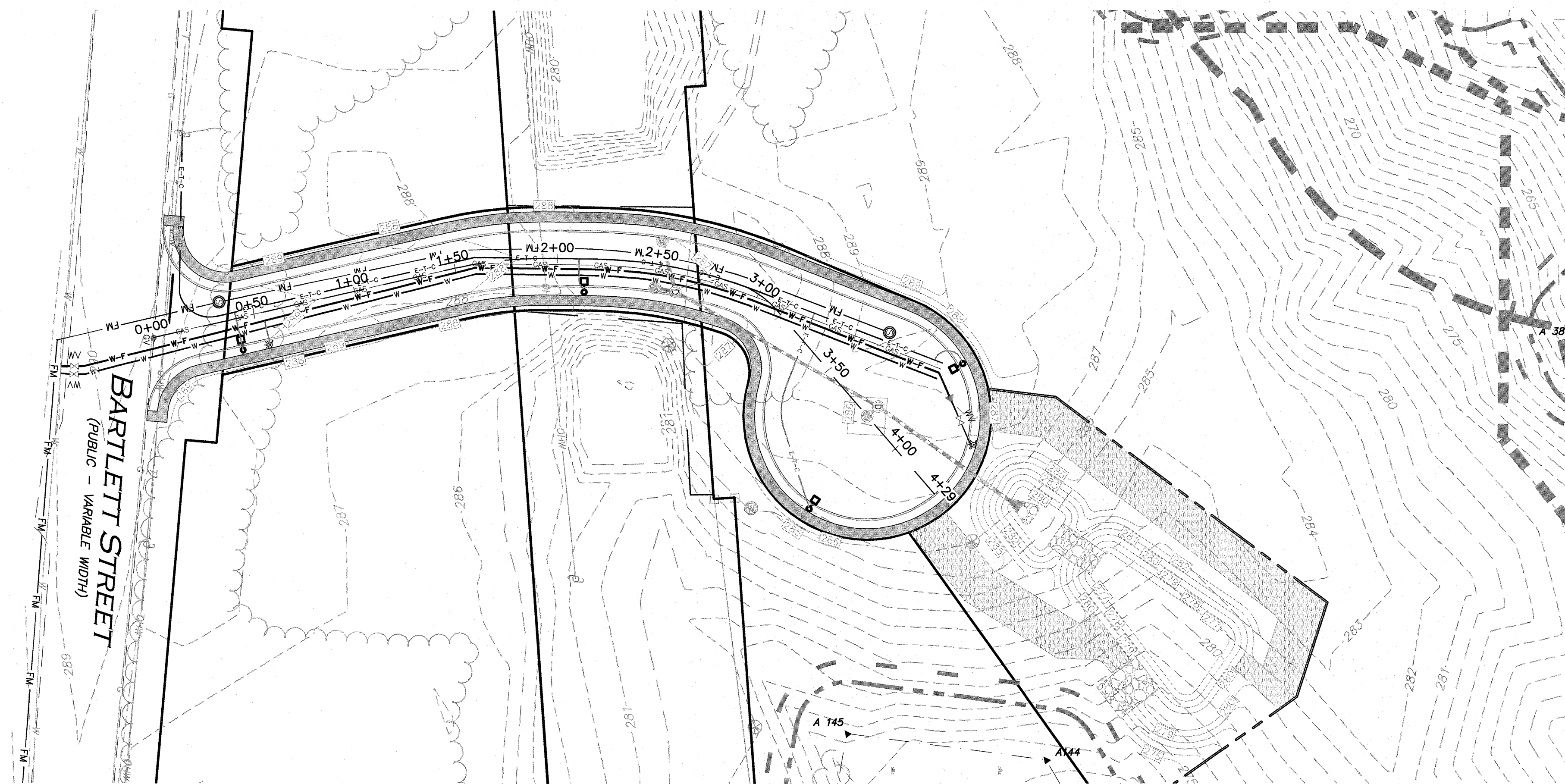


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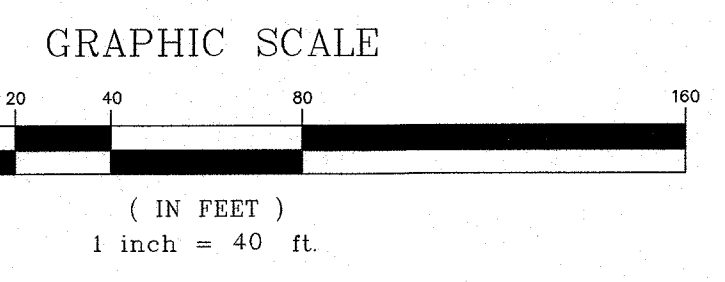
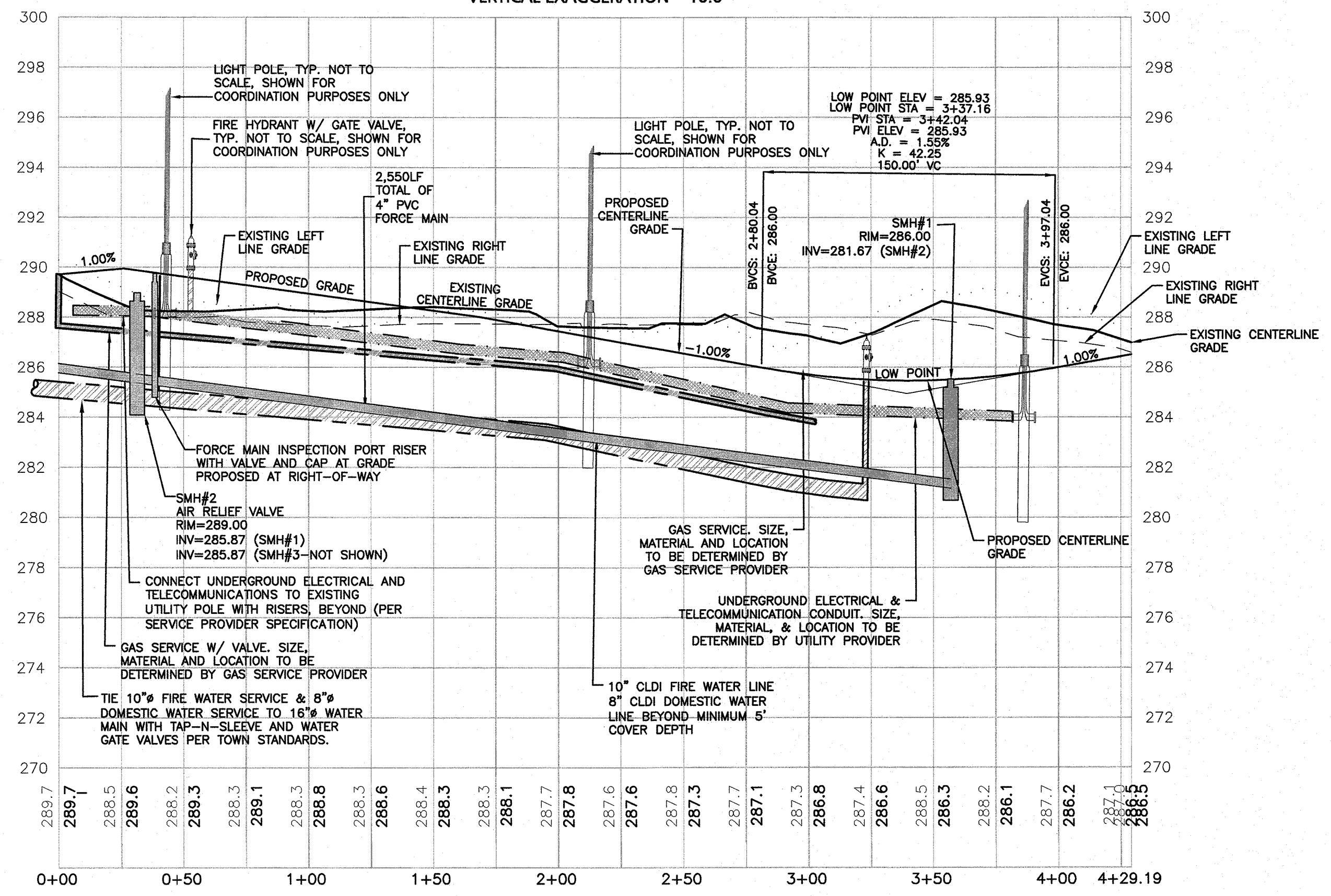
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N:\PROJECTS\1145-09\CIVIL DRAWINGS\CURRENT\DEFINITIVE SUBDIVISION\C-1145-09_GRADING & UTILITIES.DWG



- NOTES:
1. ANY ALTERATION, MISUSE, OR RECALCULATION OF THE INFORMATION OR DATA CONTAINED IN THIS PLAN WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 2. THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS - V-101 AND V-102" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED DECEMBER 17, 2020, ORIGINAL SCALE 1"=80', AND WAS GATHERED FROM AN ON-THE-GROUND SURVEY.
 3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 4. ALL ELEVATIONS REFER TO NAVD 88.
 5. ALL UTILITIES SHALL BE CONSTRUCTED TO TOWN OF NORTHBOROUGH STANDARDS AND SHALL MEET THE STANDARDS OF THE TOWN OF NORTHBOROUGH SUBDIVISION RULES AND REGULATIONS.

SUBDIVISION ROAD (2) PROFILE
VERTICAL EXAGGERATION = 10.0



I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE NOTICE OF APPROVAL FROM THE TOWN OF NORTHBOROUGH PLANNING BOARD WAS RECEIVED AND RECORDED, AND NO NOTICE OF APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

SUBJECT TO A COVENANT DATE _____ AND DULY EXECUTED, RUNNING WITH THE LAND TO BE RECORDED BY OR FOR THE OWNER OF RECORD.

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

TOWN OF NORTHBOROUGH PLANNING BOARD _____

DATE: _____

12.17.20

CARLTON M. QUINN
CIVIL ENGINEER
NO. 4923
LICENSED IN THE STATE OF MASSACHUSETTS

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

OWNER:
NORTHBOROUGH LAND REALTY TRUST
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
PROPOSED NON-RESIDENTIAL
DEFINITIVE SUBDIVISION
PARCEL H WAY
0 BARTLETT STREET
MAP 51 LOT 3 & MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO. 1145-09	DATE: DEC 17, 2020
SCALE: 1" = 40'	DWG. NAME: C-1145-09
DESIGNED BY: DMR/NCD	CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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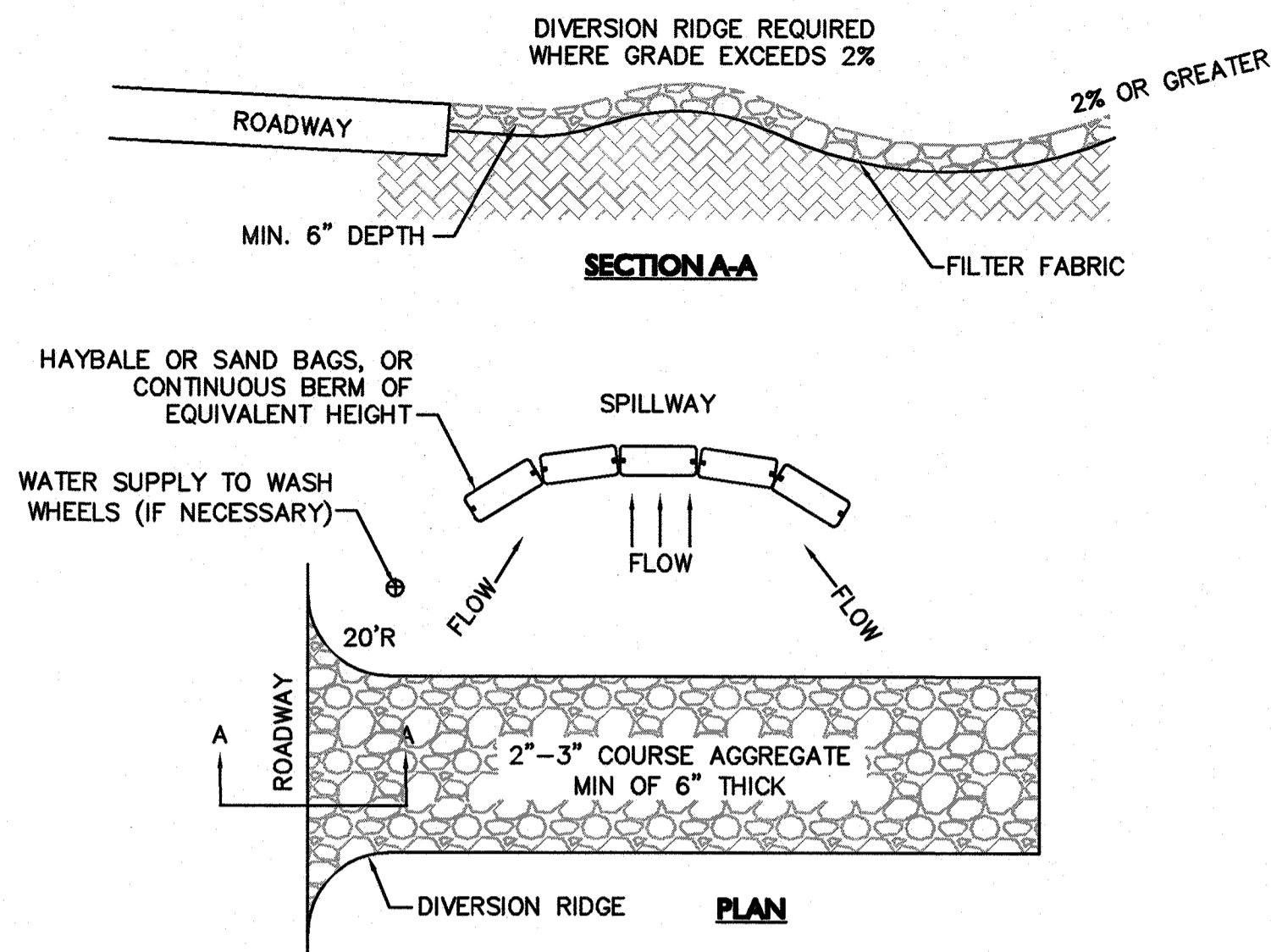
DRAWING TITLE: SUBDIVISION ROADWAY & UTILITIES PROFILE	SHEET No. C-202
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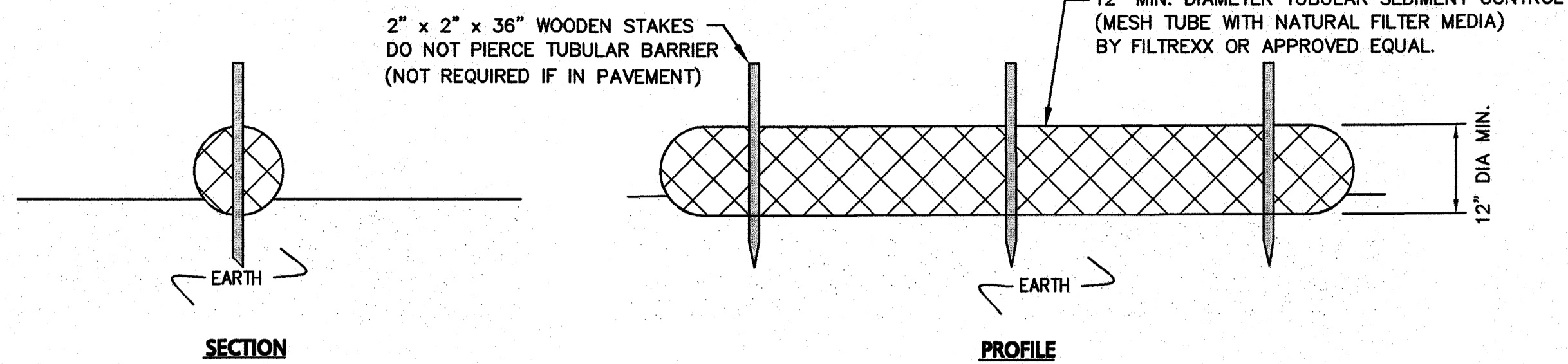
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BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. USE SANDBAGS, HAYBALES, OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

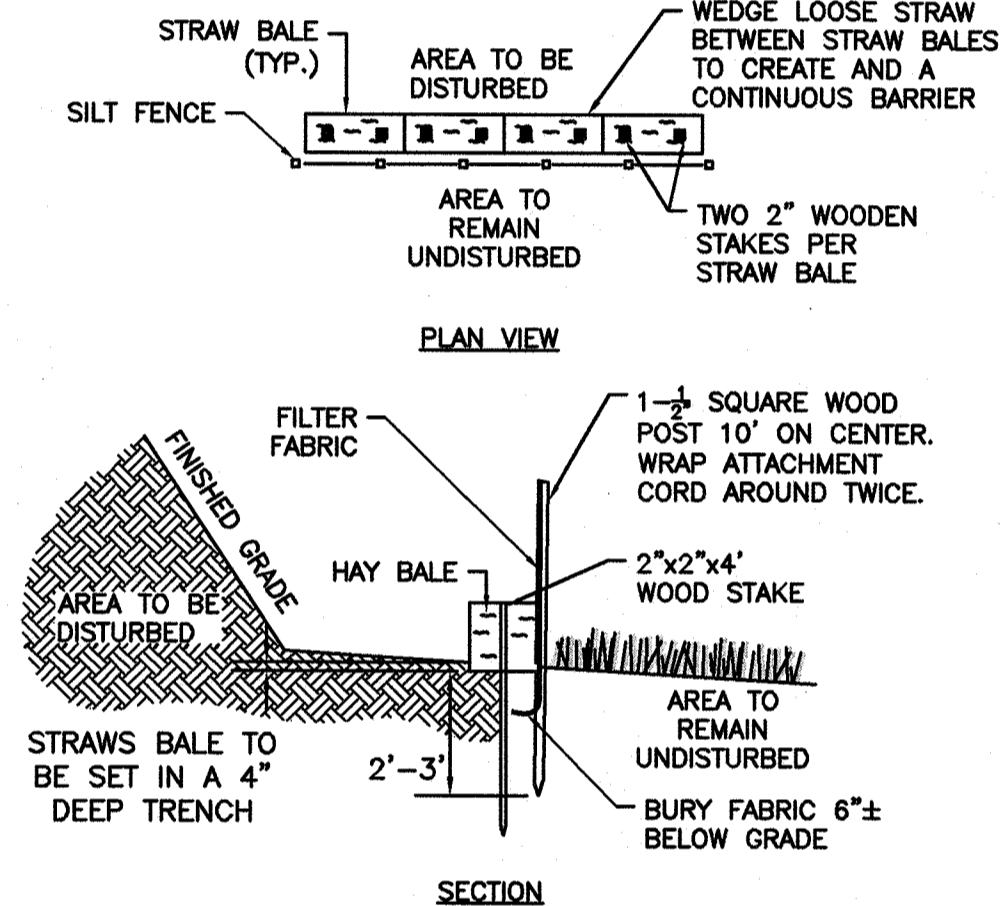


TEMPORARY CONSTRUCTION ENTRANCE/TRACKING PAD
NOT TO SCALE 1



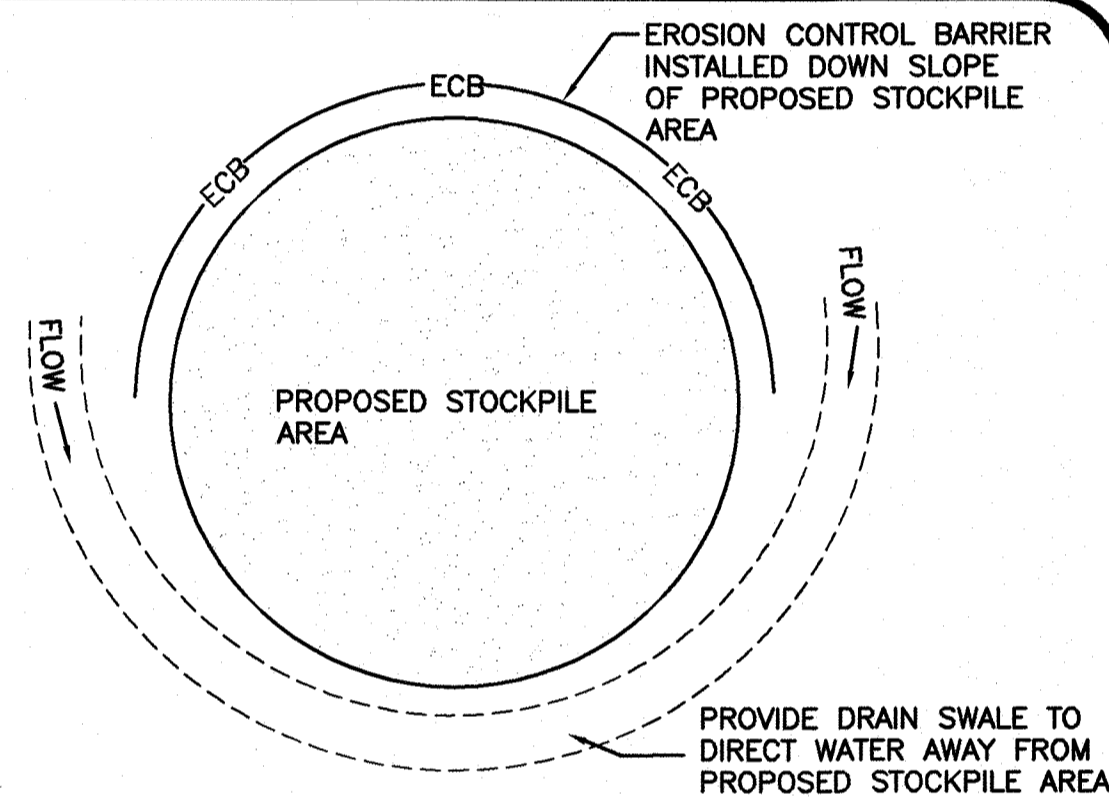
- NOTES:**
1. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 2. INSTALL WOODEN STAKES IN A CRISS-CROSS PATTERN EVERY 8' ON CENTER.
 3. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 4. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 5. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 6. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER DETAIL
NOT TO SCALE 2



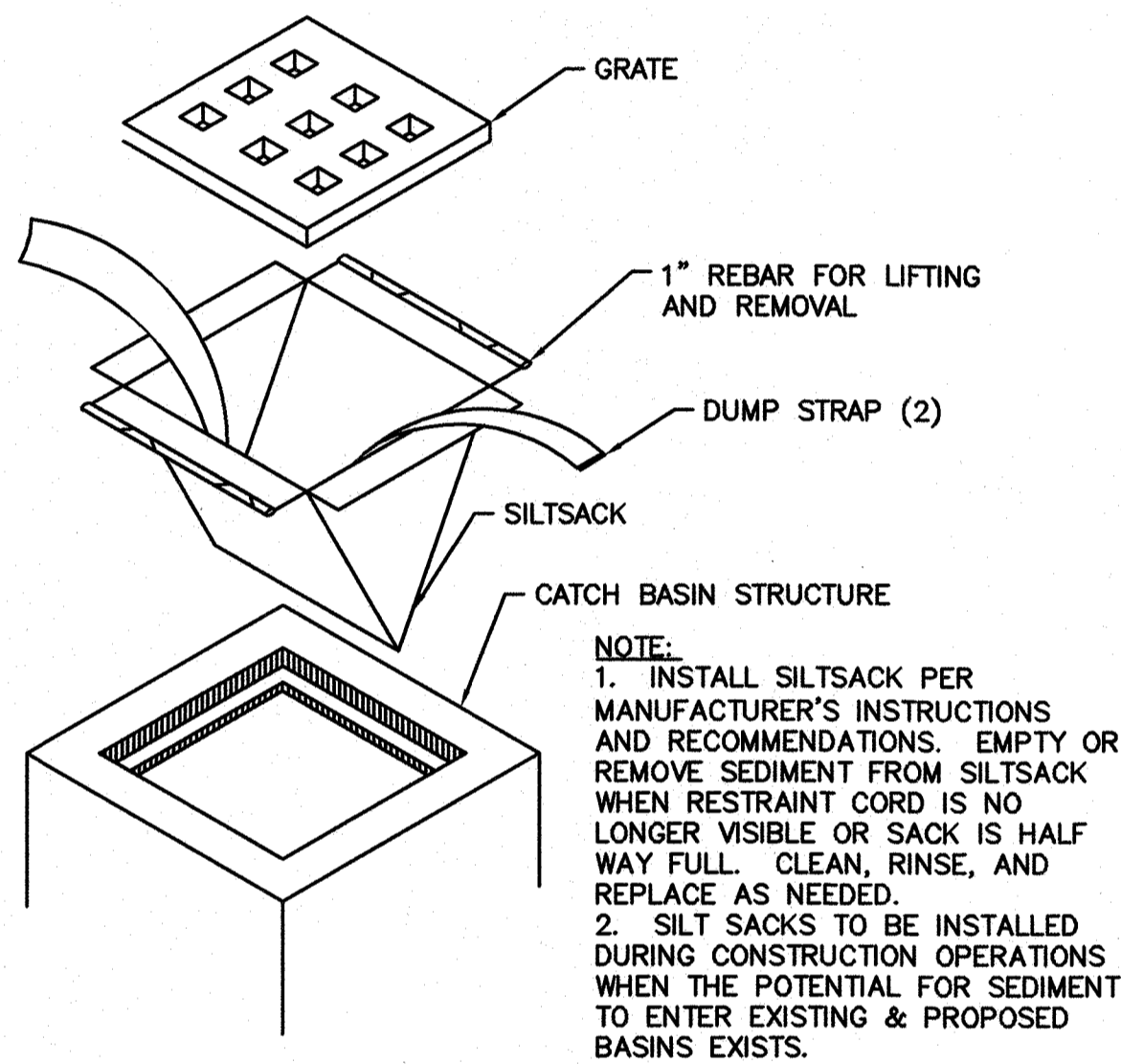
- NOTES:**
1. DEPTH TO BE 2' UNLESS POST IS TO BE SET IN PEAT THEN 3' OR GREATEST DEPTH POSSIBLE BY PUSHING BY HAND SHALL BE REQUIRED.

SILT FENCE AND HAY BALE DETAIL
NOT TO SCALE 3



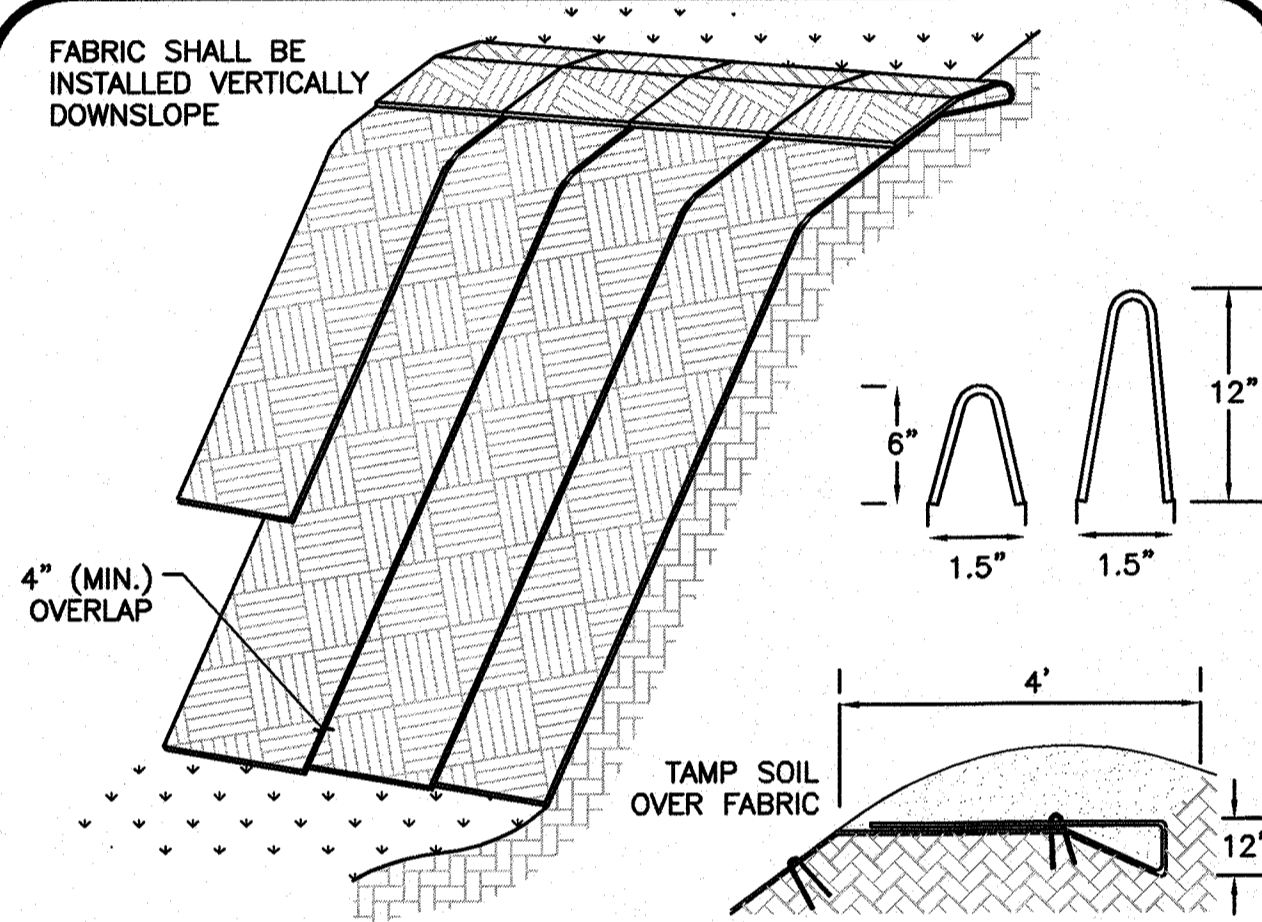
- NOTES:**
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100 LBS/1,000 S.F.), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION
NOT TO SCALE 4



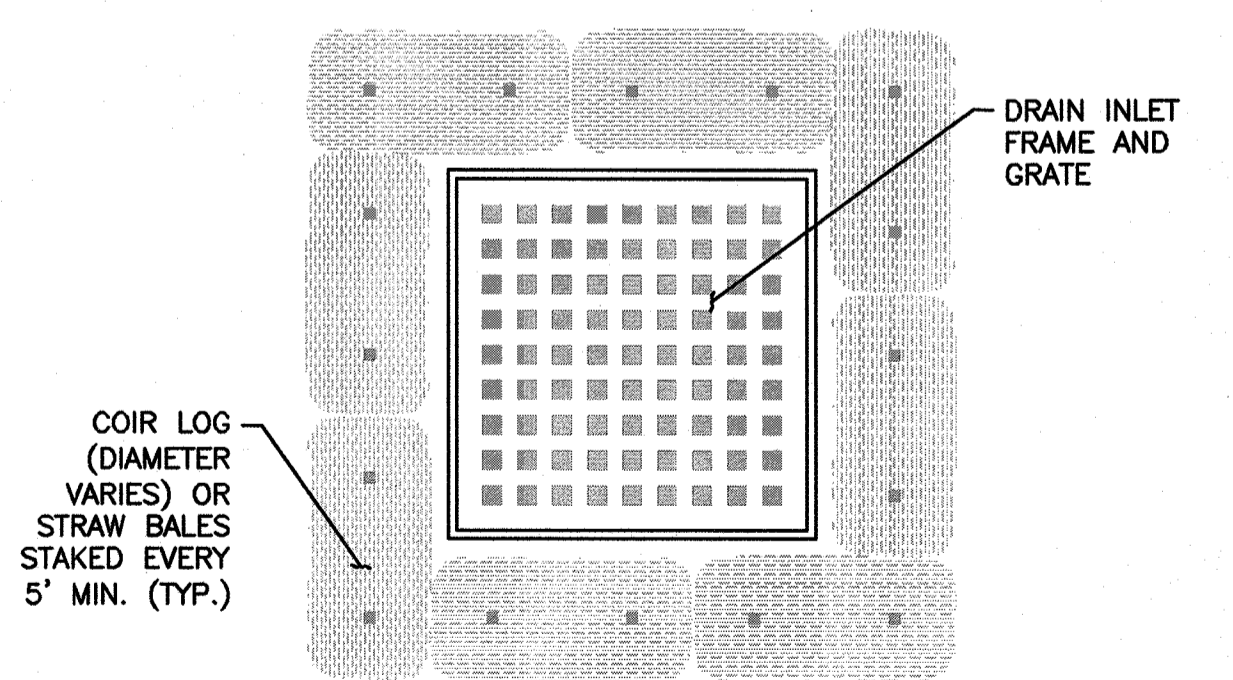
- NOTE:**
1. INSTALL SILTSACK PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. EMPTY OR REMOVE SEDIMENT FROM SILTSACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE OR SACK IS HALF WAY FULL. CLEAN, RINSE, AND REPLACE AS NEEDED.
 2. SILT SACKS TO BE INSTALLED DURING CONSTRUCTION OPERATIONS WHEN THE POTENTIAL FOR SEDIMENT TO ENTER EXISTING & PROPOSED BASINS EXISTS.

SILTSACK INLET DETAIL
NOT TO SCALE 5



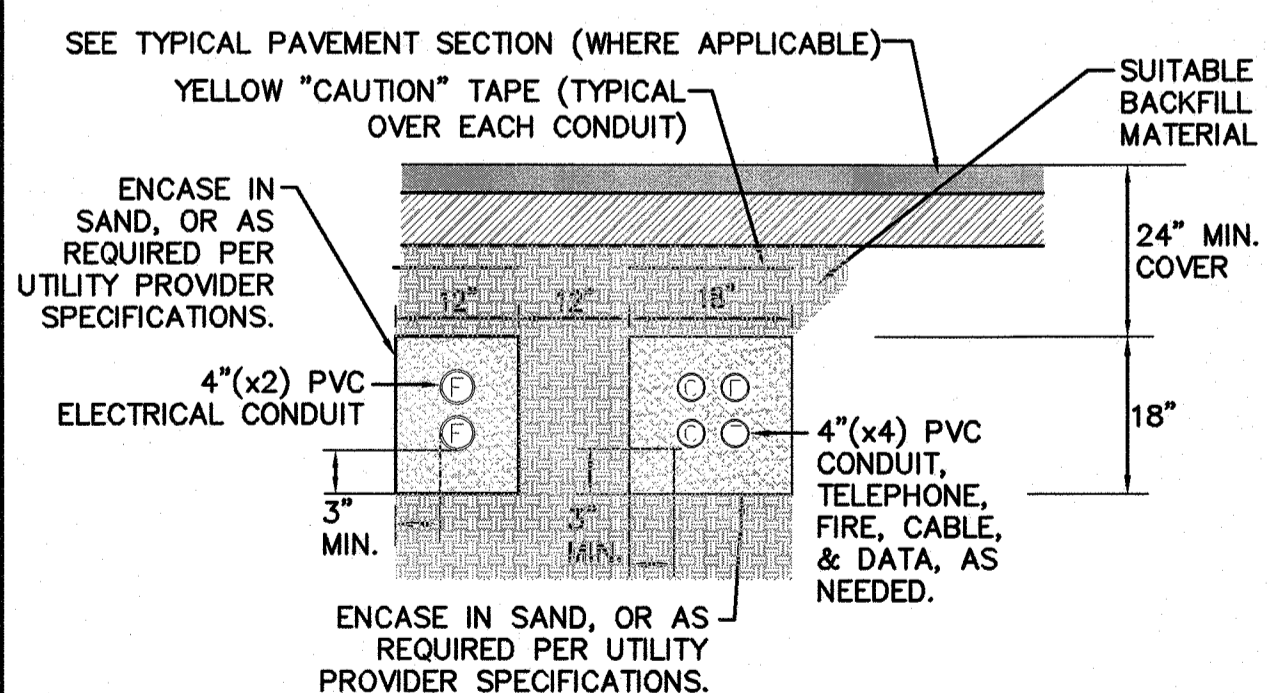
- NOTE:**
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS.
 2. FABRIC SHALL HAVE GOOD SOIL CONTACT.
 3. APPLY PERMANENT SEEDING BEFORE PLACING FABRIC.
 4. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
 5. CHOOSE MATERIAL BASED ON SLOPE, SOILS, AND APPLICATION.

EROSION CONTROL FABRIC
NOT TO SCALE 6



- NOTES:**
1. STRAW BALES SHALL BE POSITIONED IN A ROW SO THAT EACH END TIGHTLY ABUTS THE ADJACENT BALE.
 2. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
 3. FREQUENT INSPECTIONS SHALL BE CONDUCTED AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY IF NECESSARY.

TYPICAL HAY BALE FILTER DETAIL
NOT TO SCALE 7

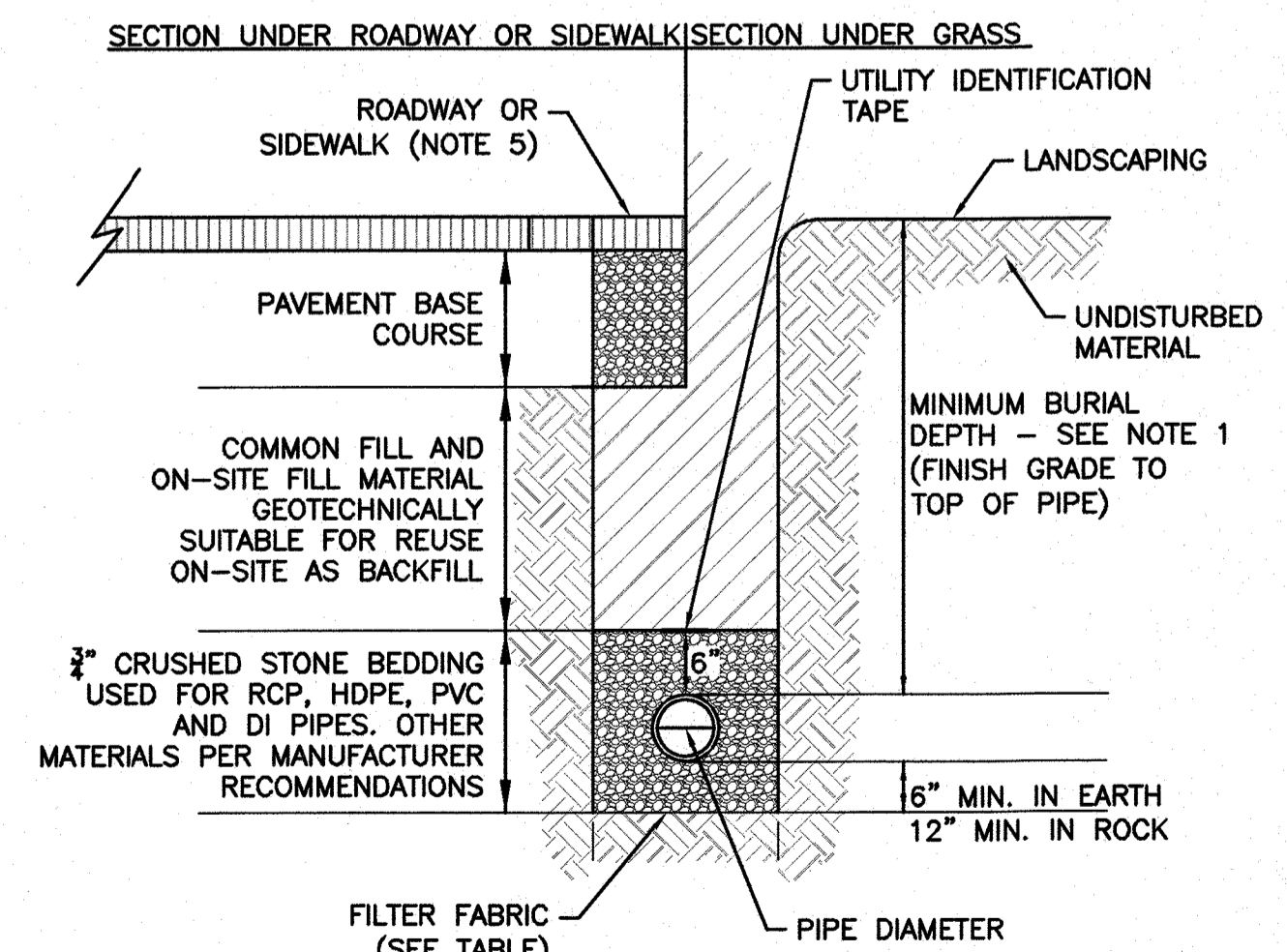


- NOTES:**
1. CONDUITS SHALL BE SCHEDULE 80 PVC UNDER ROAD AND DRIVEWAY SURFACES.
 2. ALL UTILITY INSTALLATION REQUIREMENTS, SEPARATIONS, AND CONDUIT SIZES TO BE VERIFIED WITH EACH UTILITY COMPANY PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITY CONDUIT.

BURIED CONDUIT DETAIL
NOT TO SCALE 8

- NOTES:**
1. MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE) GRAVITY PIPE (SEWER & DRAIN) - SEE PLAN OR PROFILE
PRESSURE PIPE UNDER PAVING - 4'
PRESSURE PIPE BENEATH UNPAVED - 3'
WATER PIPE - 5'
 2. WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR. AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
 3. TRENCHES WITHIN PUBLIC RIGHT OF WAY MAY REQUIRE FLOWABLE FILL. VERIFY WITH MUNICIPAL ENGINEER.
 4. WHERE WASTE FILLS ARE ENCOUNTERED AT SUBGRADE LEVEL FOR NEW UTILITIES, THE FILL SHOULD BE OVER-EXCAVATED. THE SUBGRADE SHOULD BE RE-COMPACTED, AND BACKFILL CONSISTING OF PIPE BEDDING MATERIAL, CRUSHED STONE OR OTHER SUITABLE GRANULAR FILL SHOULD BE PLACED TO A SUFFICIENT DEPTH TO CREATE A FIRM AND STABLE SUBGRADE (TYPICALLY 12 TO 18 INCHES OVER-EXCAVATION).
 5. REFER TO PAVING, CURBS, WALKS AND DRIVEWAY DETAILS.

	FILTER FABRIC USE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED



UTILITY TRENCH
NOT TO SCALE 9

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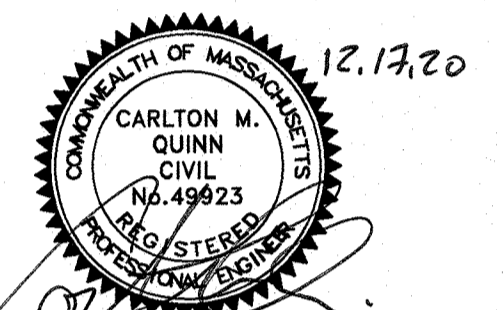
TOWN CLERK _____ DATE _____

SUBJECT TO A COVENANT DATE _____ AND DULY EXECUTED, RUNNING WITH THE LAND TO BE RECORDED BY OR FOR THE OWNER OF RECORD.

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

TOWN OF NORTHBOROUGH PLANNING BOARD

DATE: _____



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

OWNER:
NORTHBOROUGH LAND REALTY TRUST
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION PARCEL H WAY
0 BARTLETT STREET
MAP 51 LOT 3 & MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: DEC 17, 2020

SCALE: AS SHOWN DWG. NAME: C-1145-09

DESIGNED BY: DMR/NCD CHECKED BY: CMQ

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

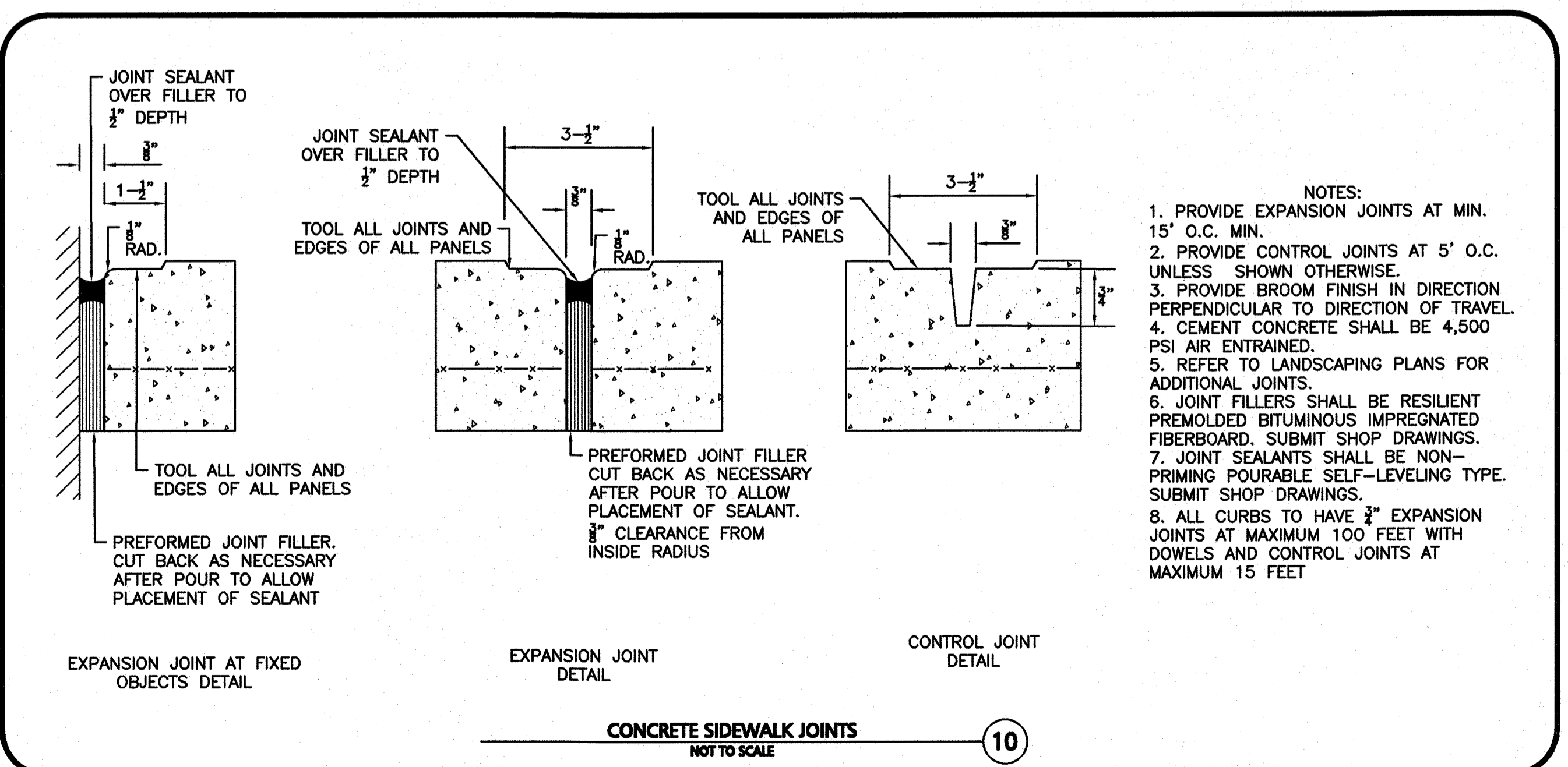
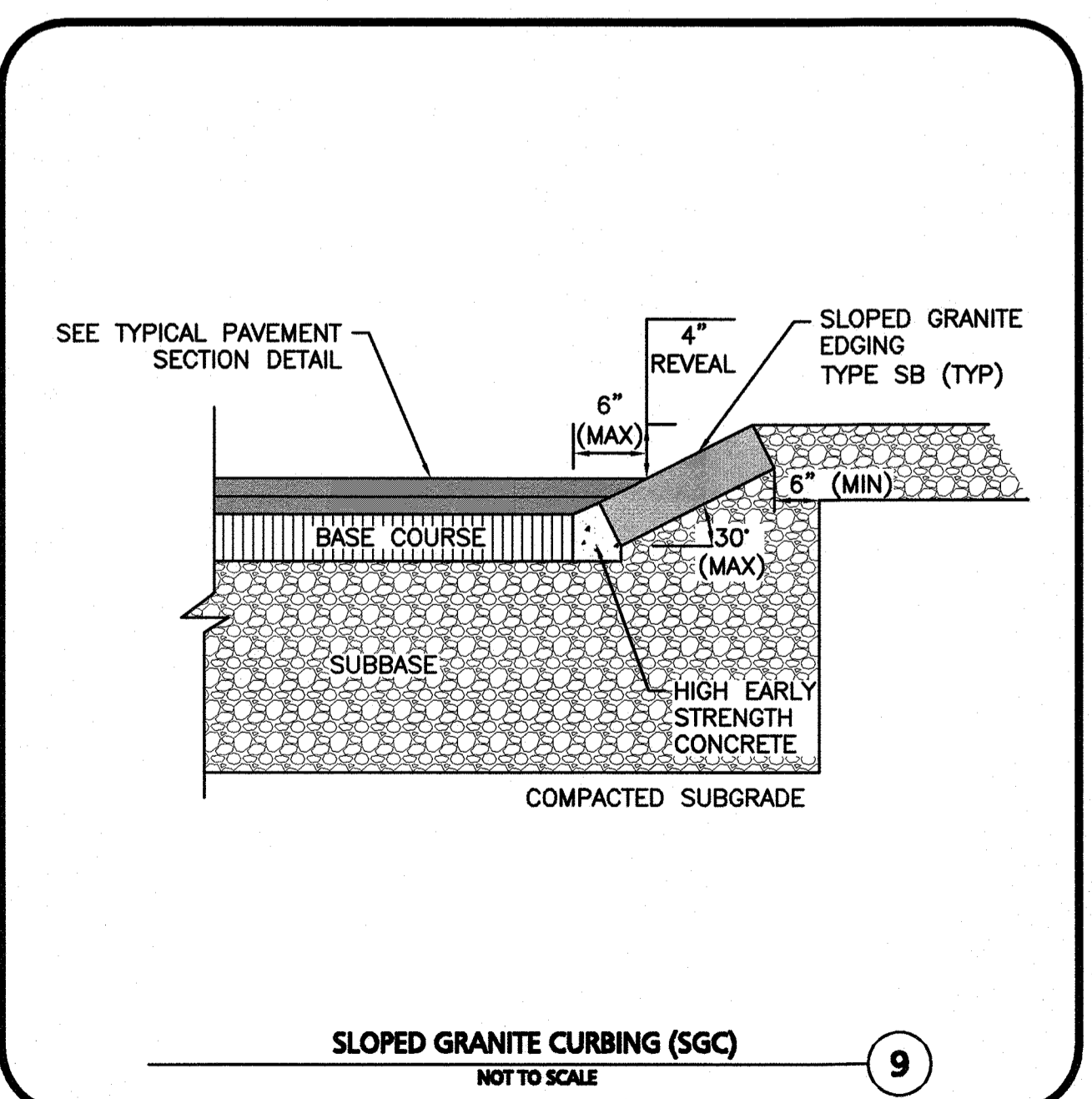
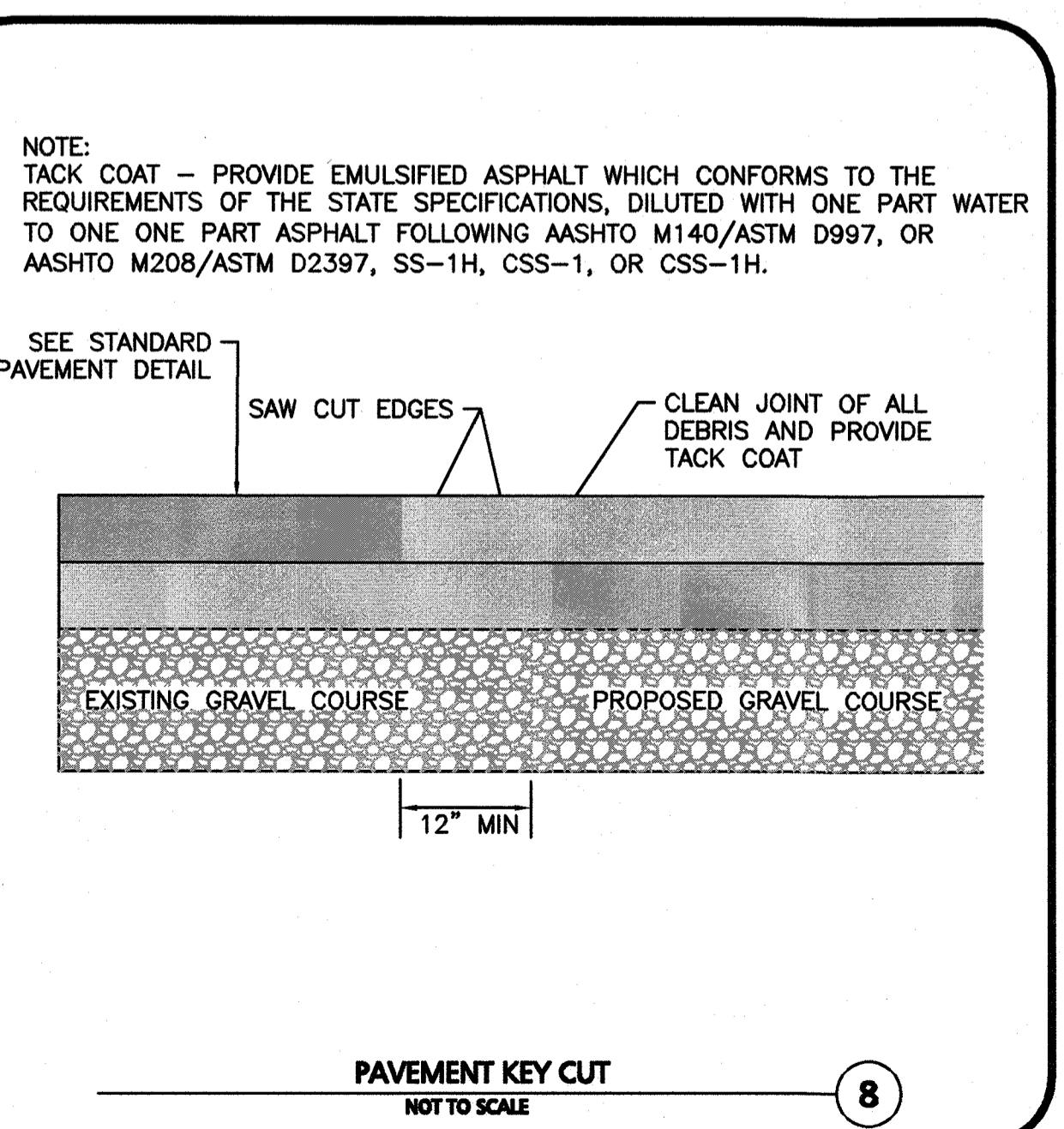
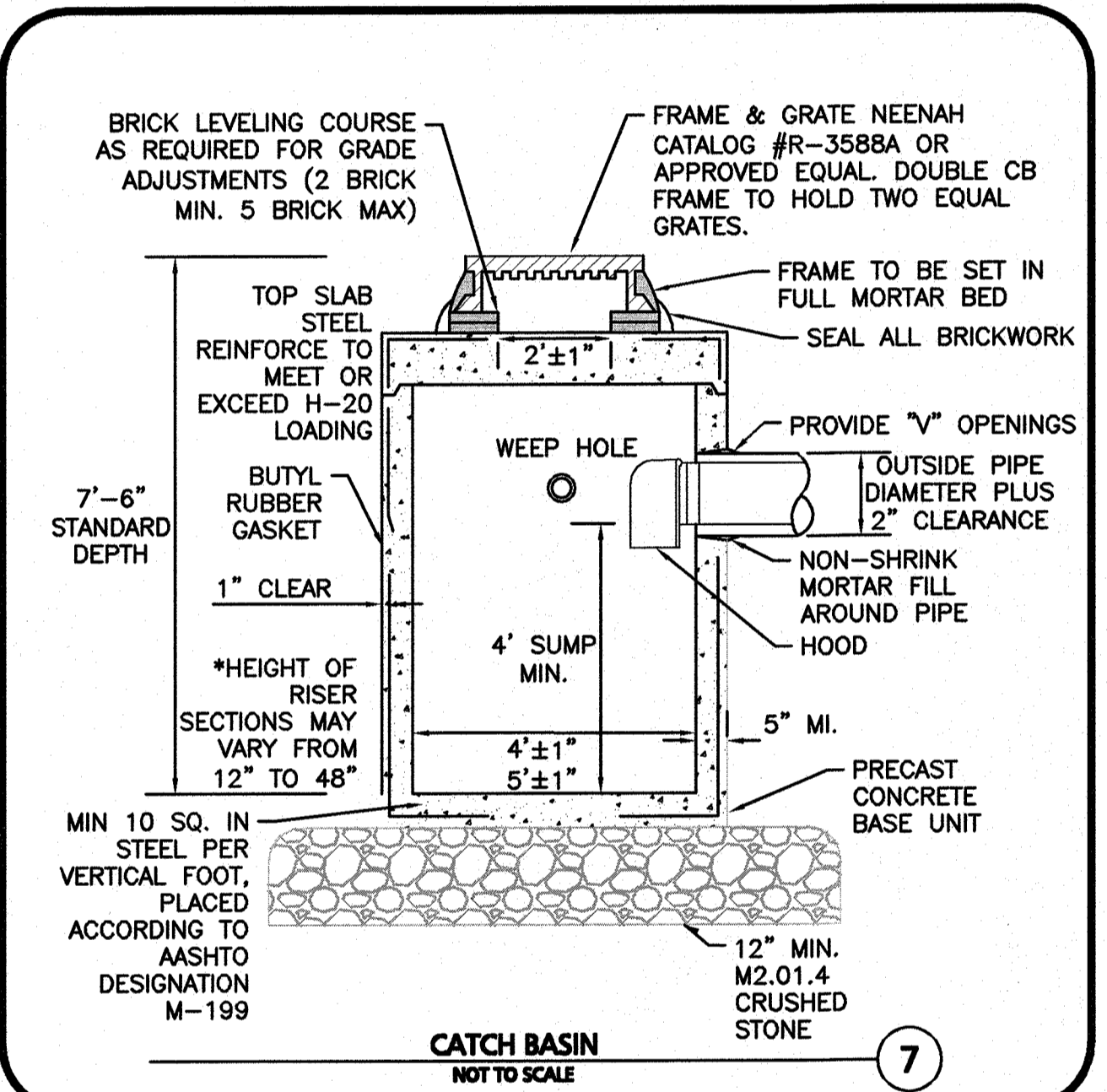
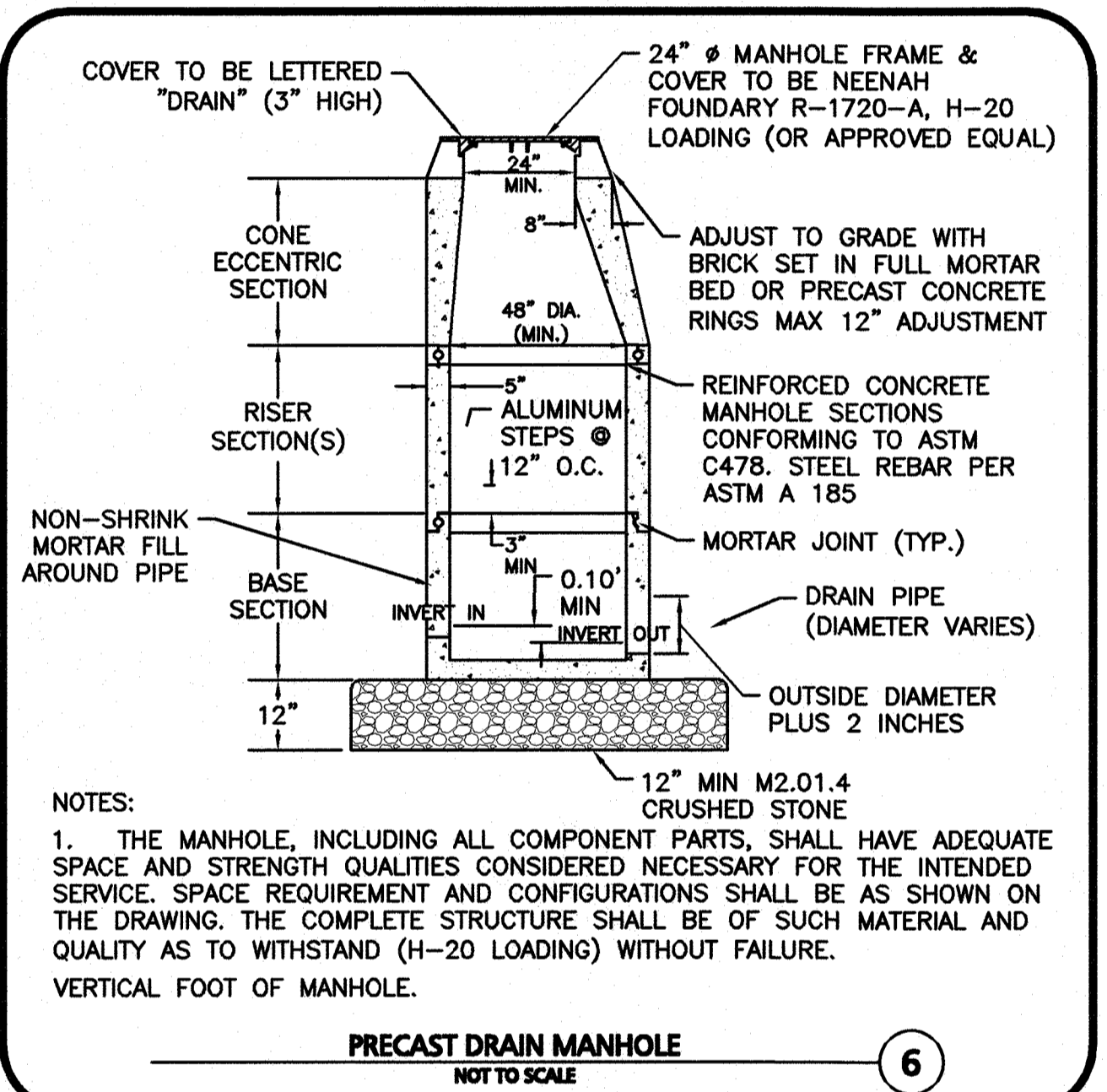
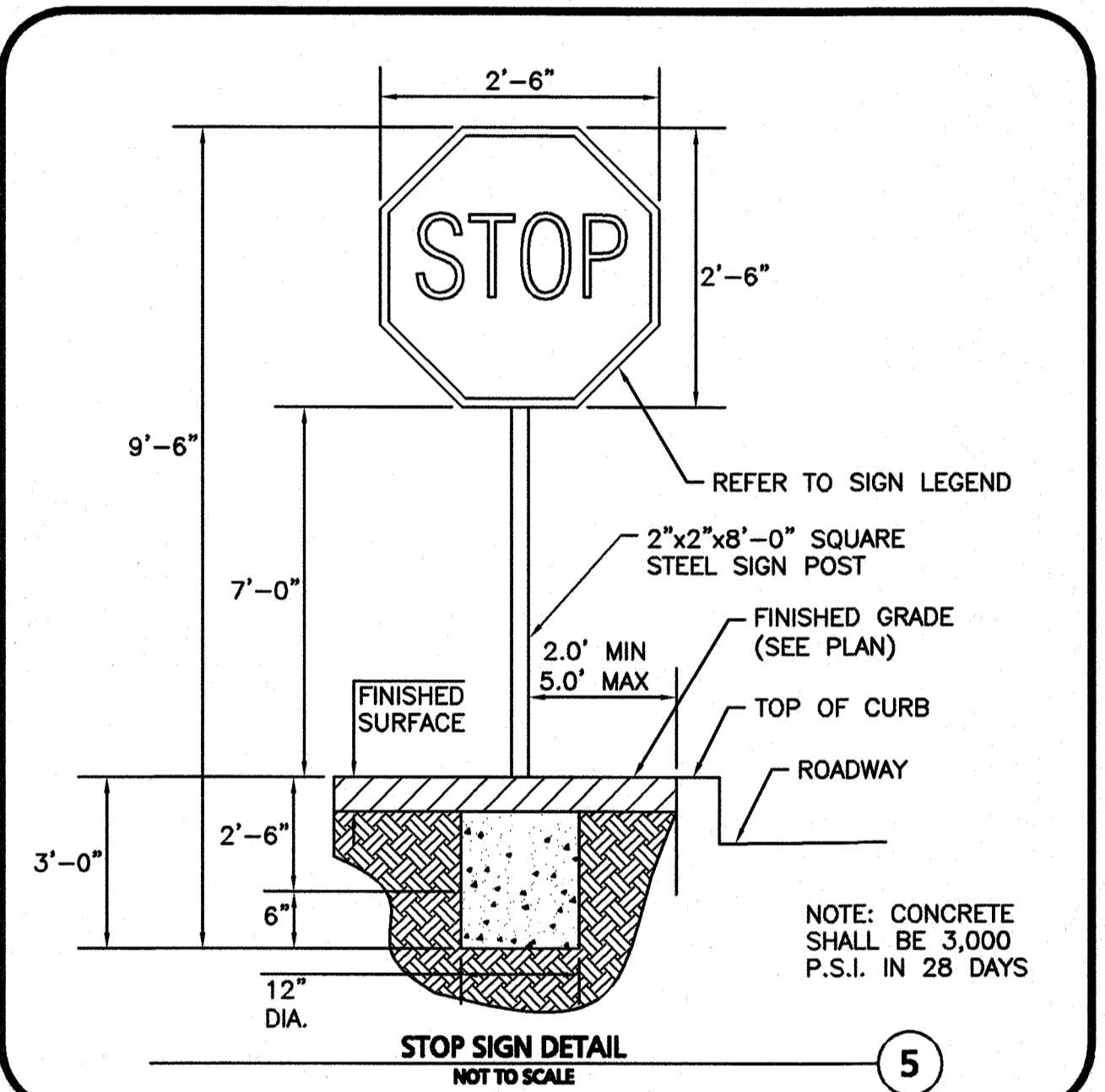
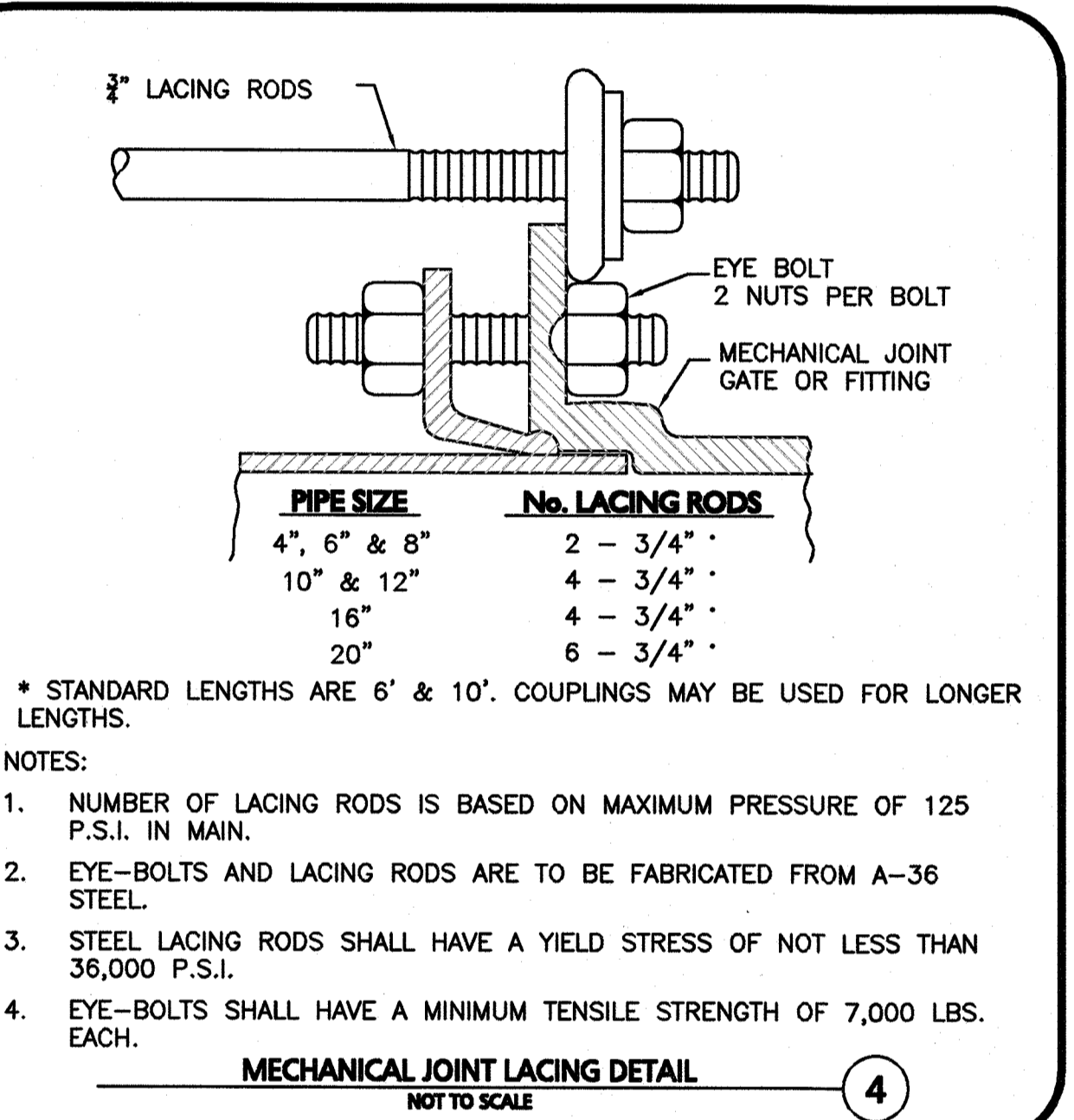
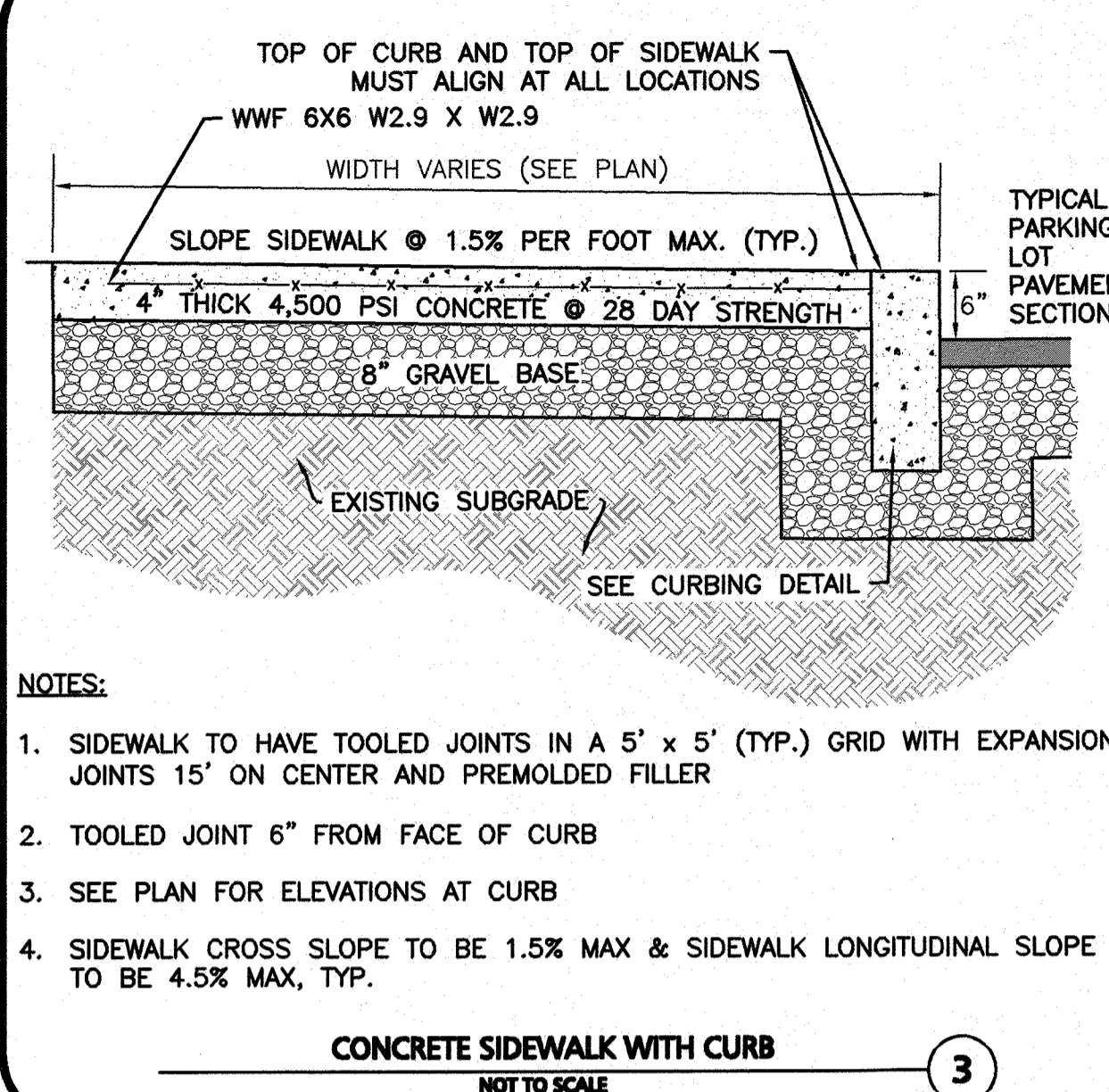
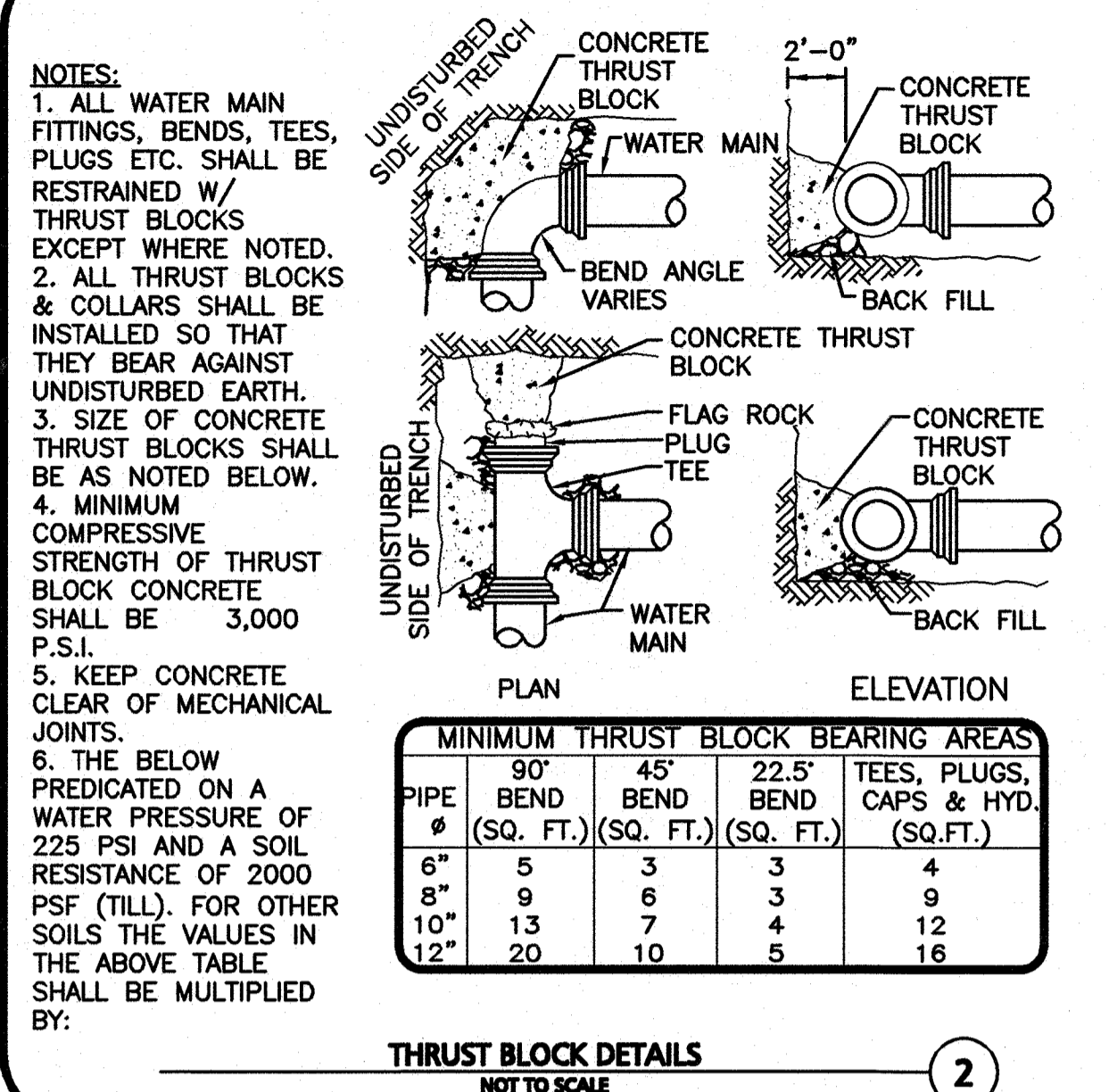
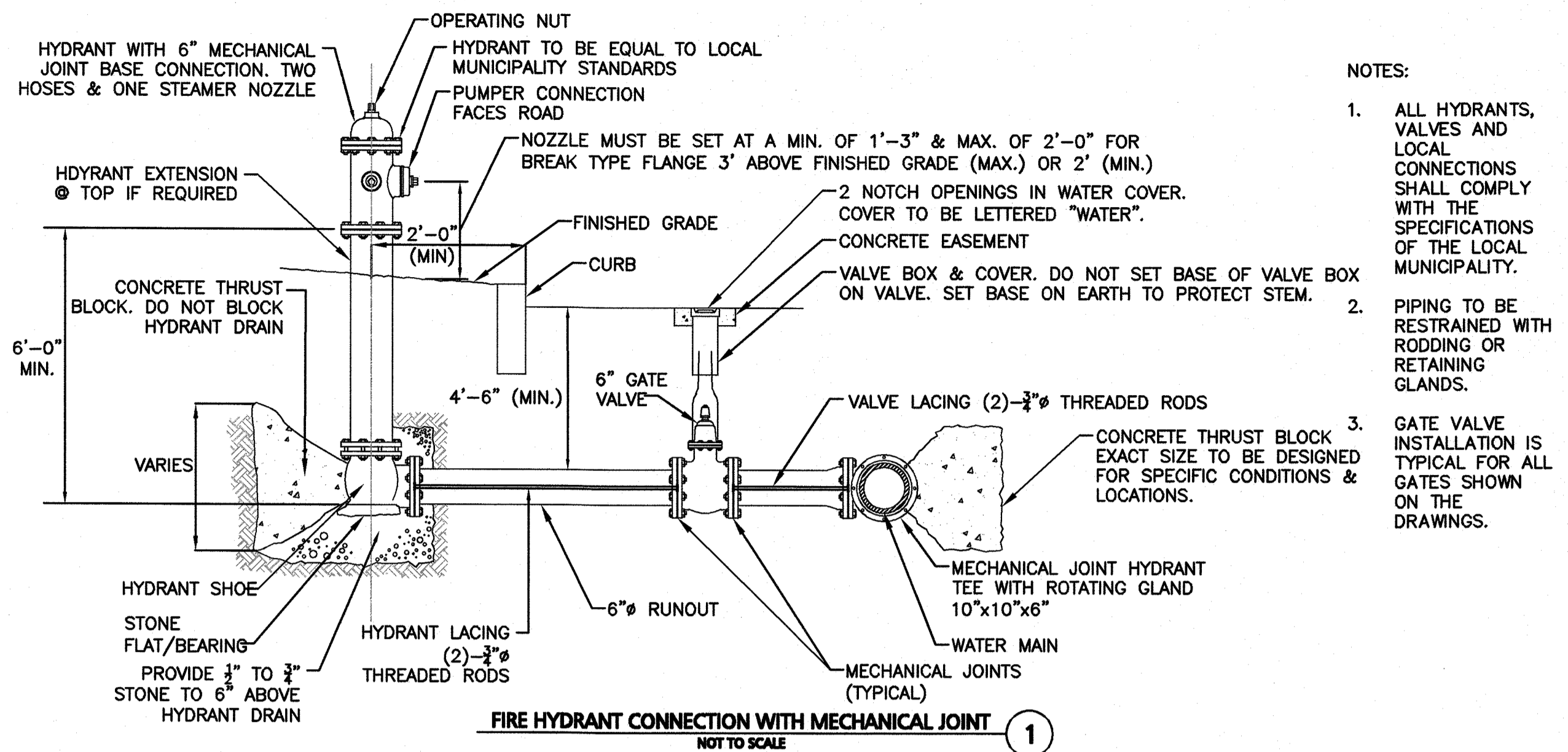
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DETAILS C-501

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TOWN CLERK _____ DATE _____

SUBJECT TO A COVENANT DATE _____ AND DULY EXECUTED, RUNNING WITH THE LAND TO BE RECORDED BY OR FOR THE OWNER OF RECORD.

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

TOWN OF NORTHBOROUGH PLANNING BOARD _____

DATE: _____

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT: THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

OWNER: NORTHBOROUGH LAND REALTY TRUST
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT: PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION
PARCEL H WAY
0 BARTLETT STREET
MAP 51 LOT 3 & MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: DEC 17, 2020

SCALE: AS SHOWN DWG. NAME: C-1145-09

DESIGNED BY: DMR/NCD CHECKED BY: CMQ

PREPARED BY:

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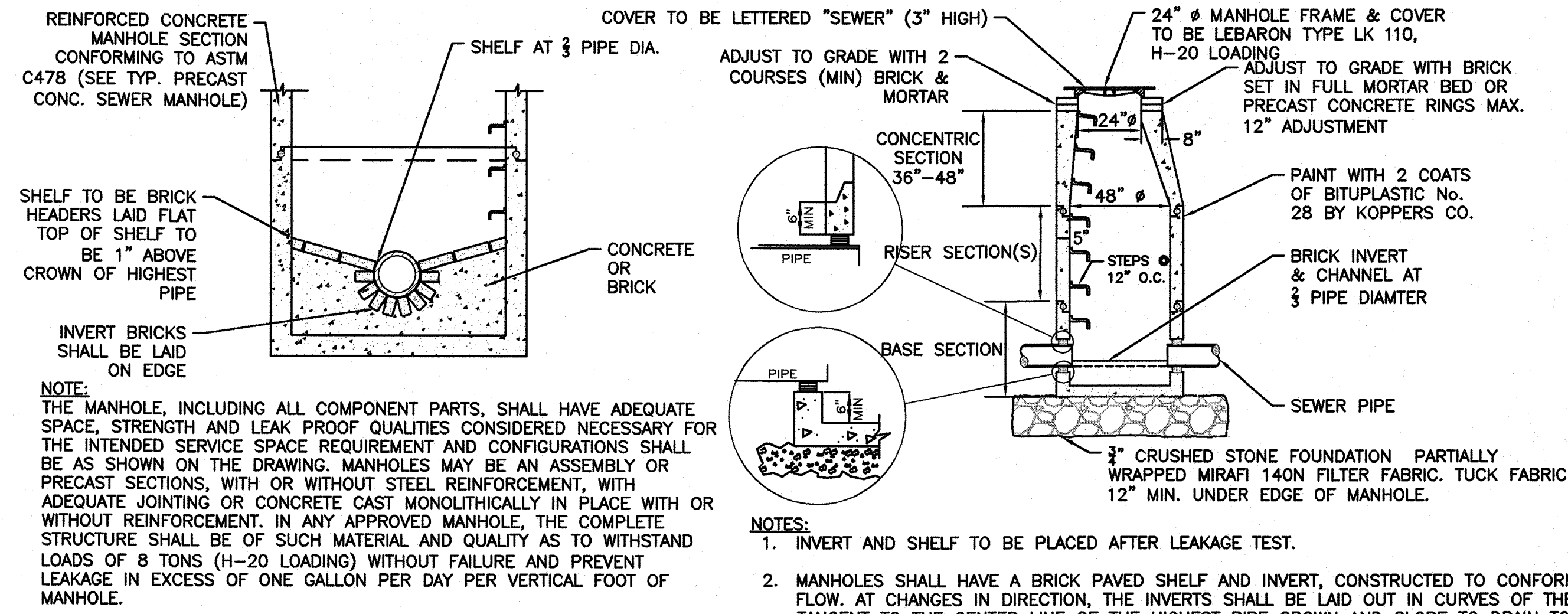
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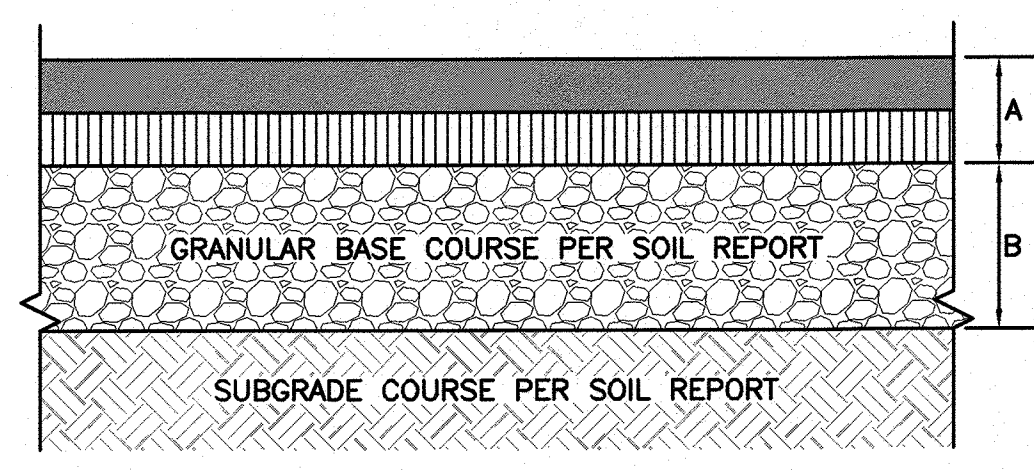
M:\PROJECTS\1145-09\CIVIL\DRAWINGS\CURRENT\DEFINITIVE SUBDIVISION\C-1145-09_DETAILS.DWG



NOTE:
THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAK PROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OR PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE.

NOTES:
1. INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.
2. MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF CEMENT CONCRETE OR BRICK IN MORTAR.

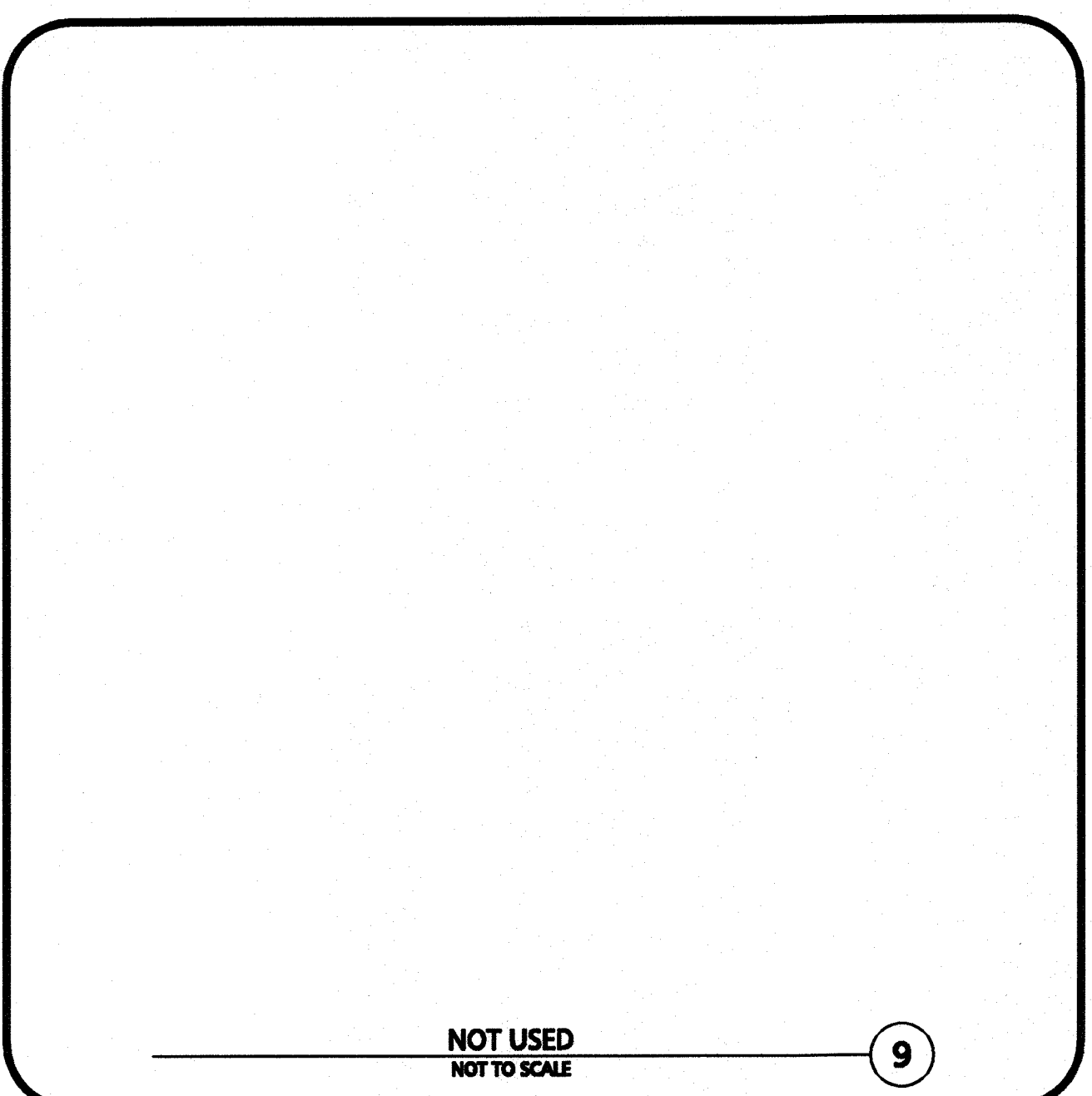
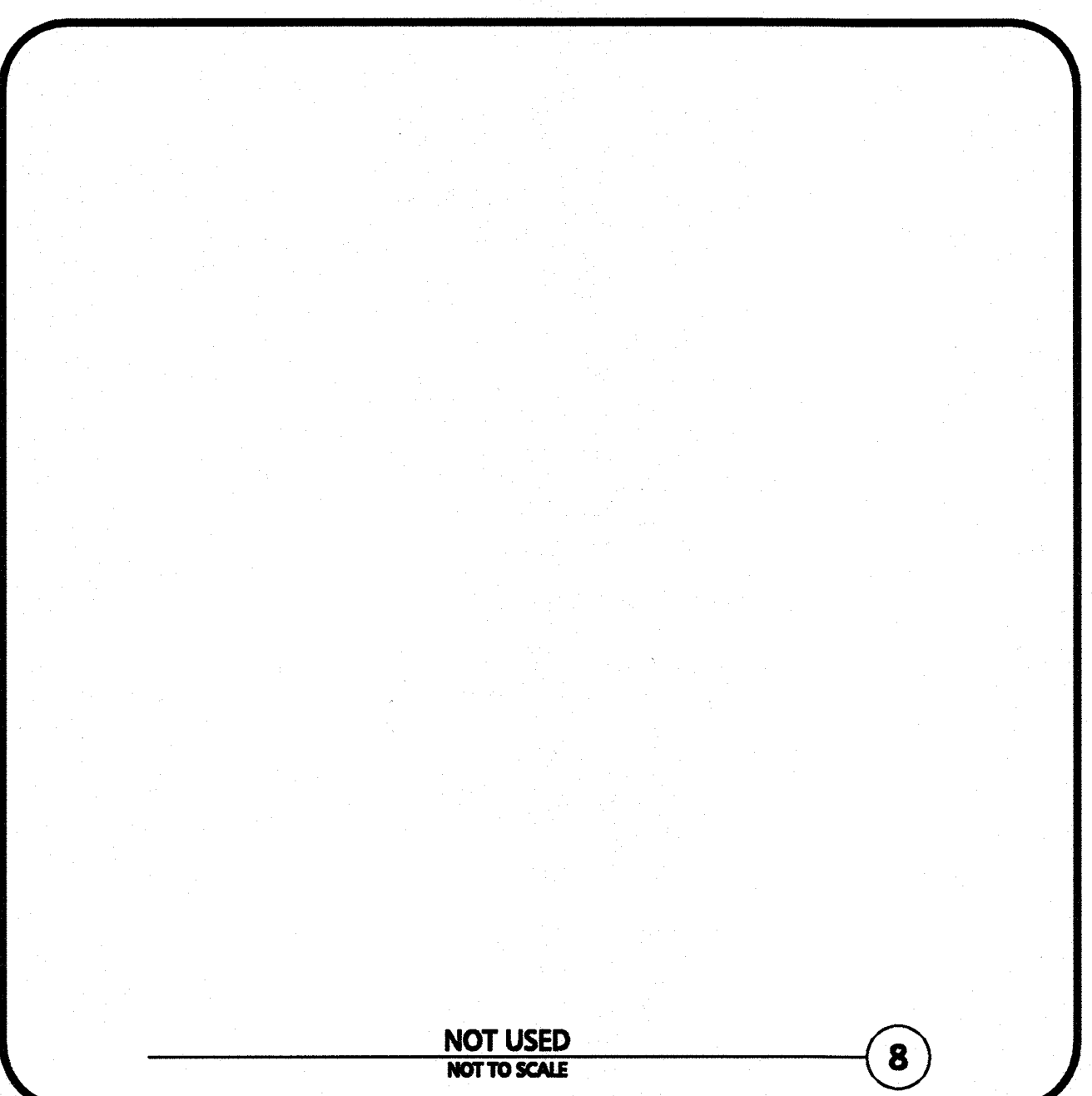
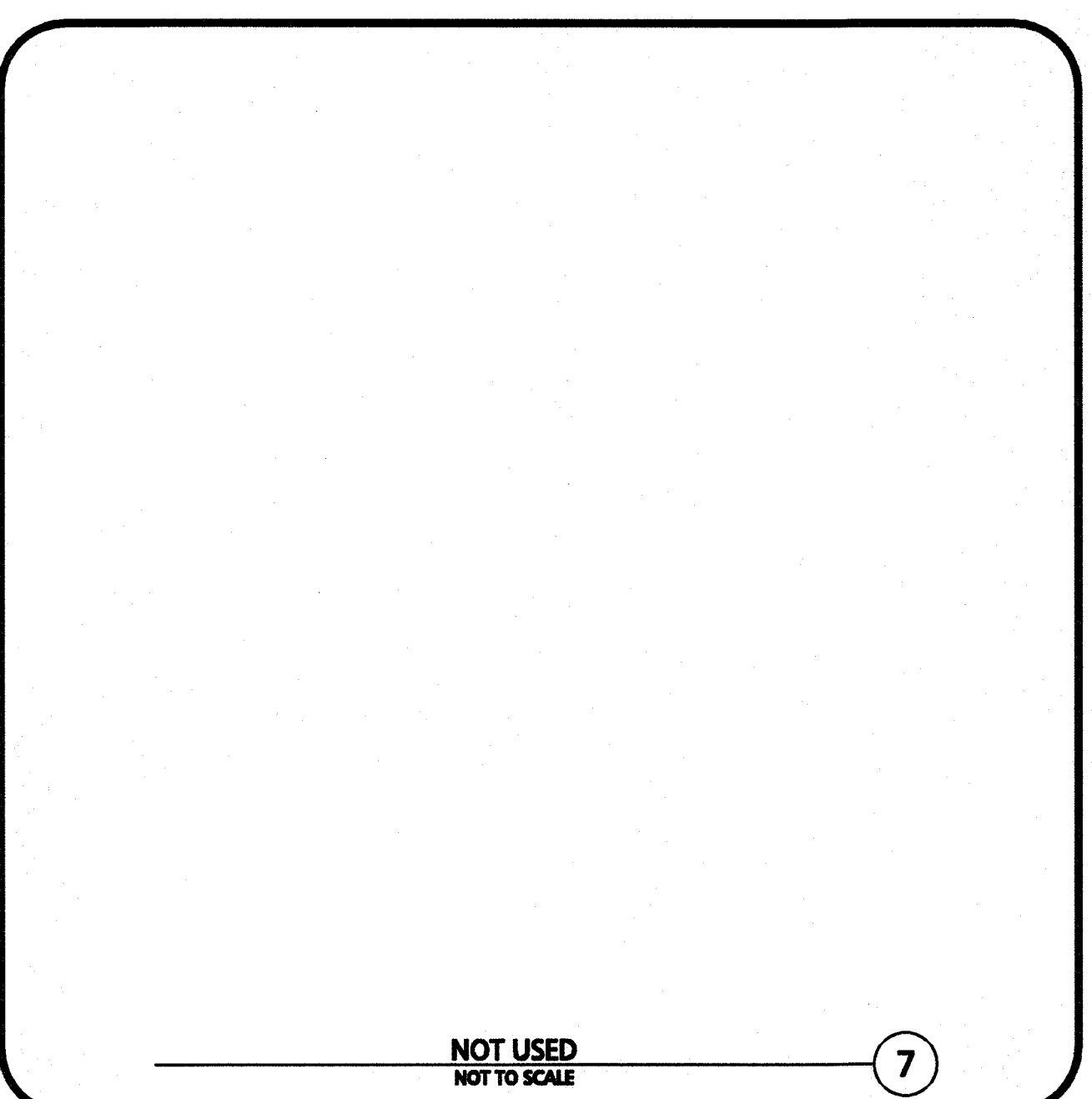
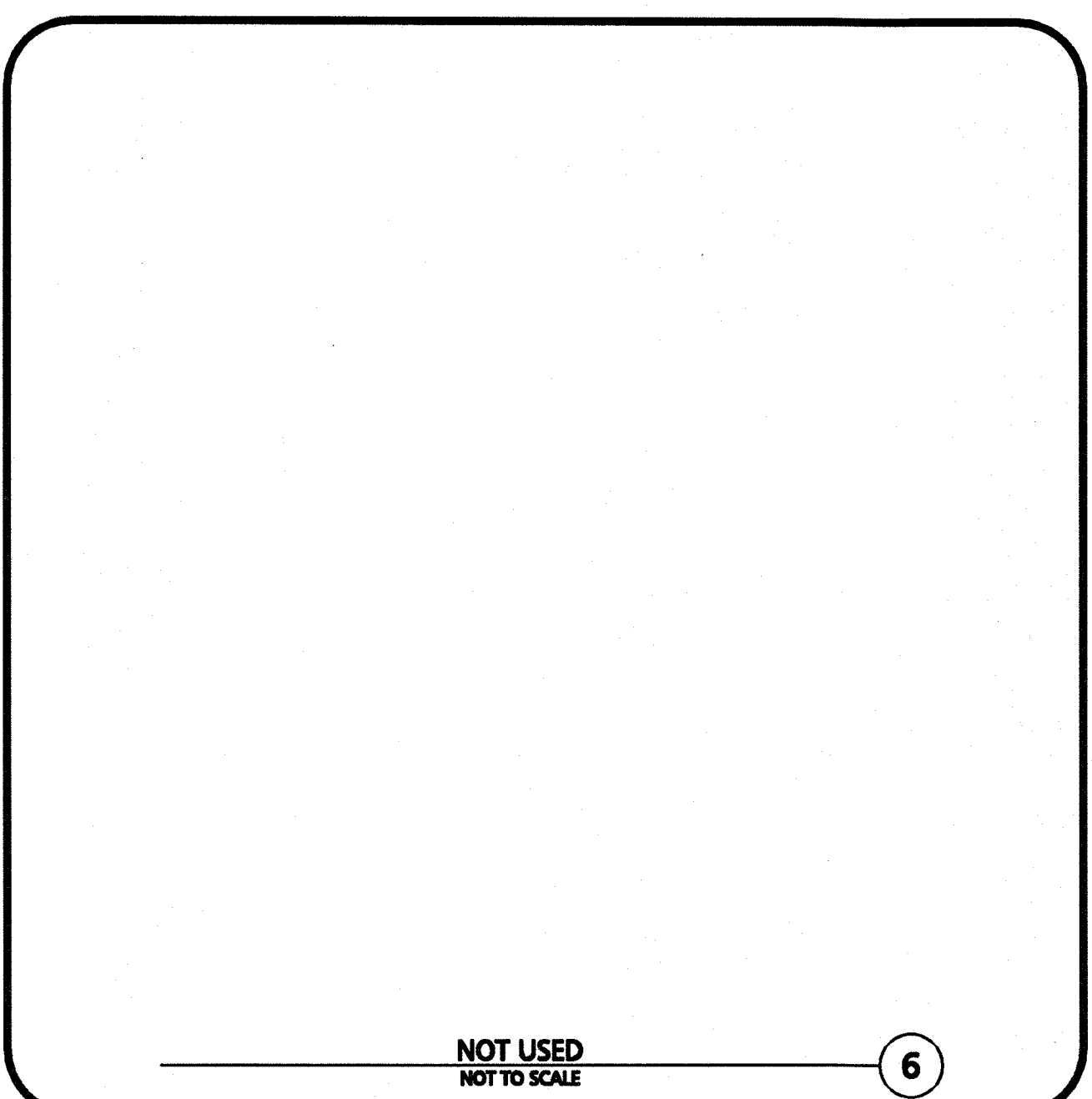
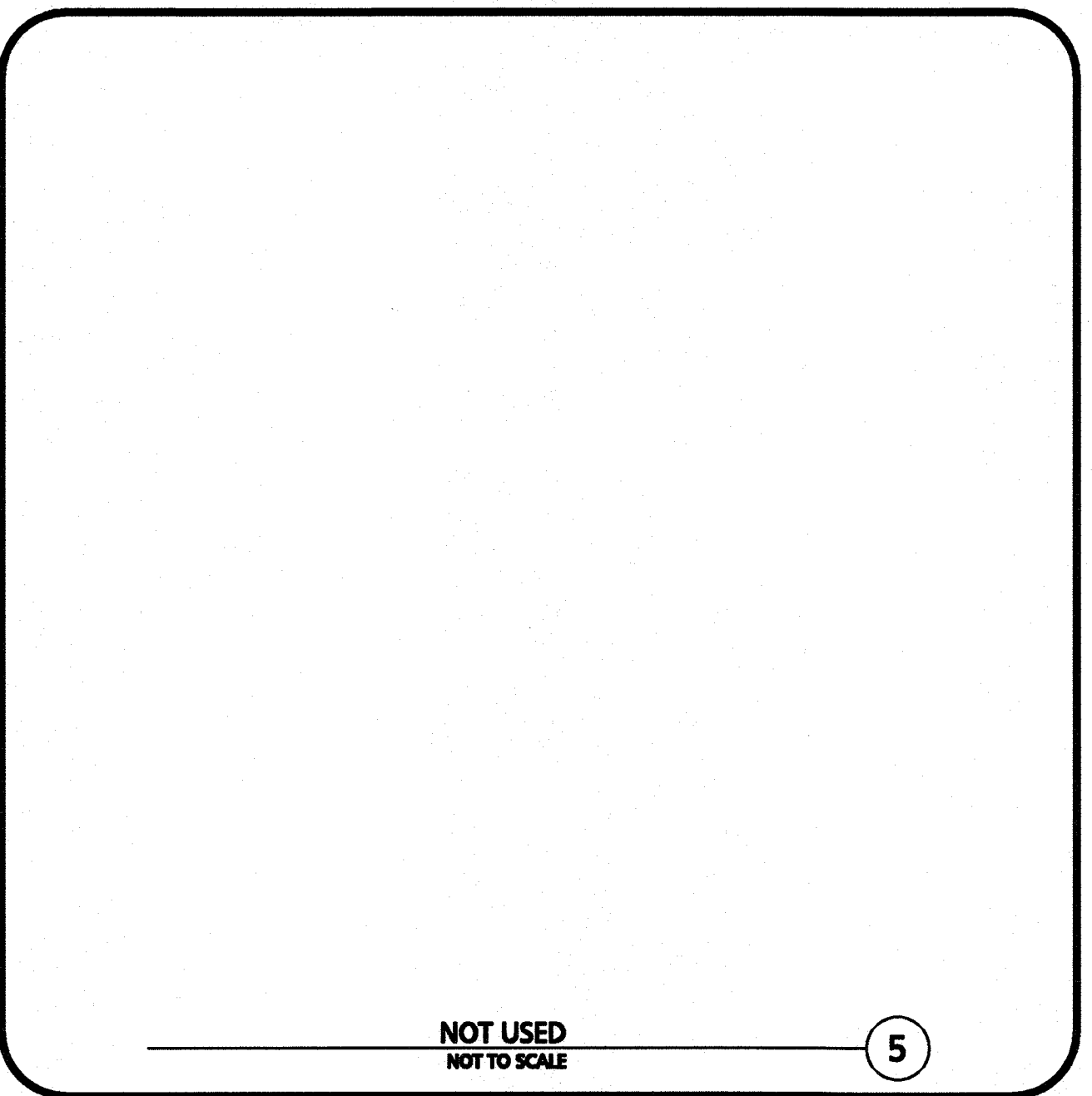
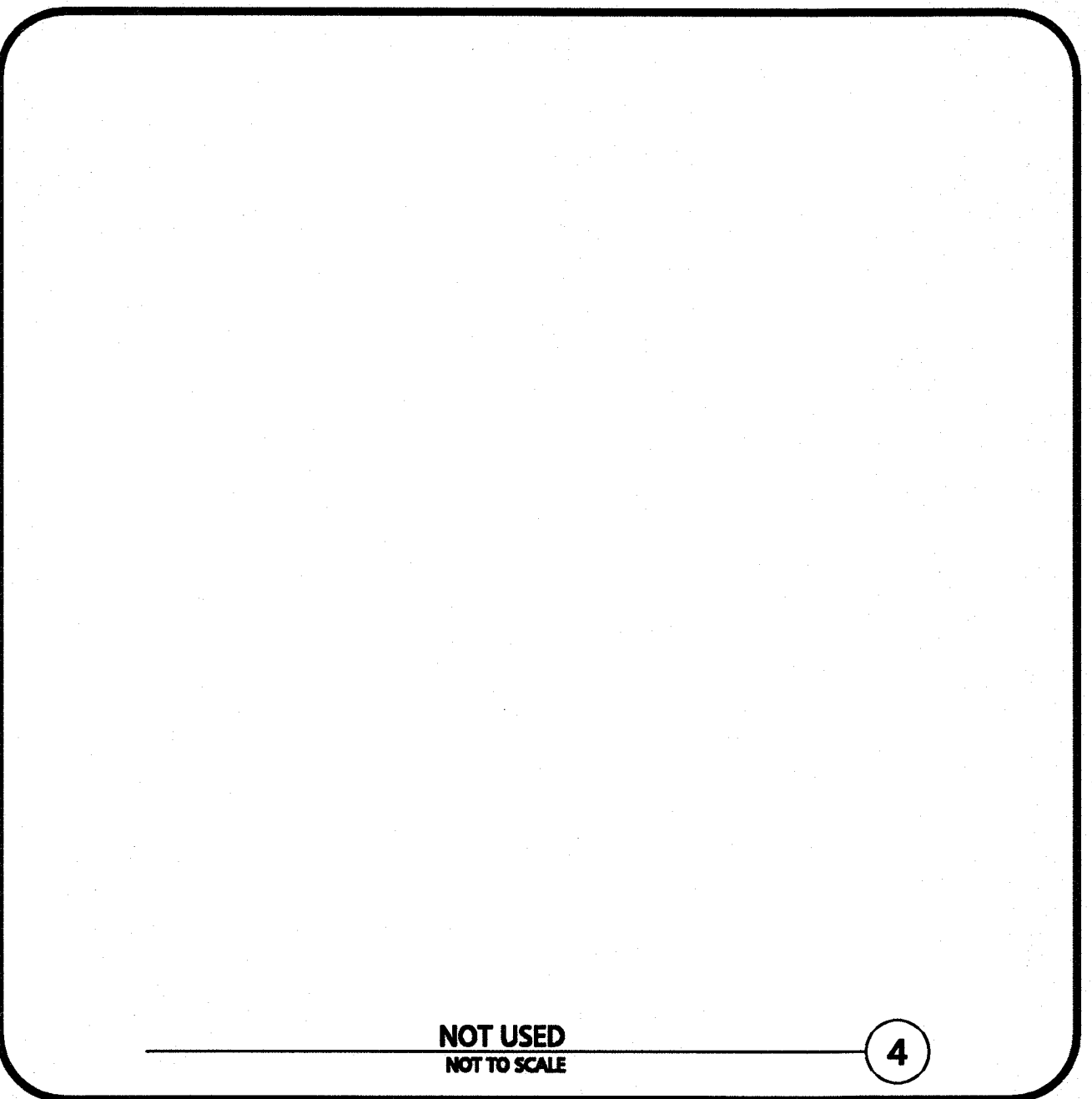
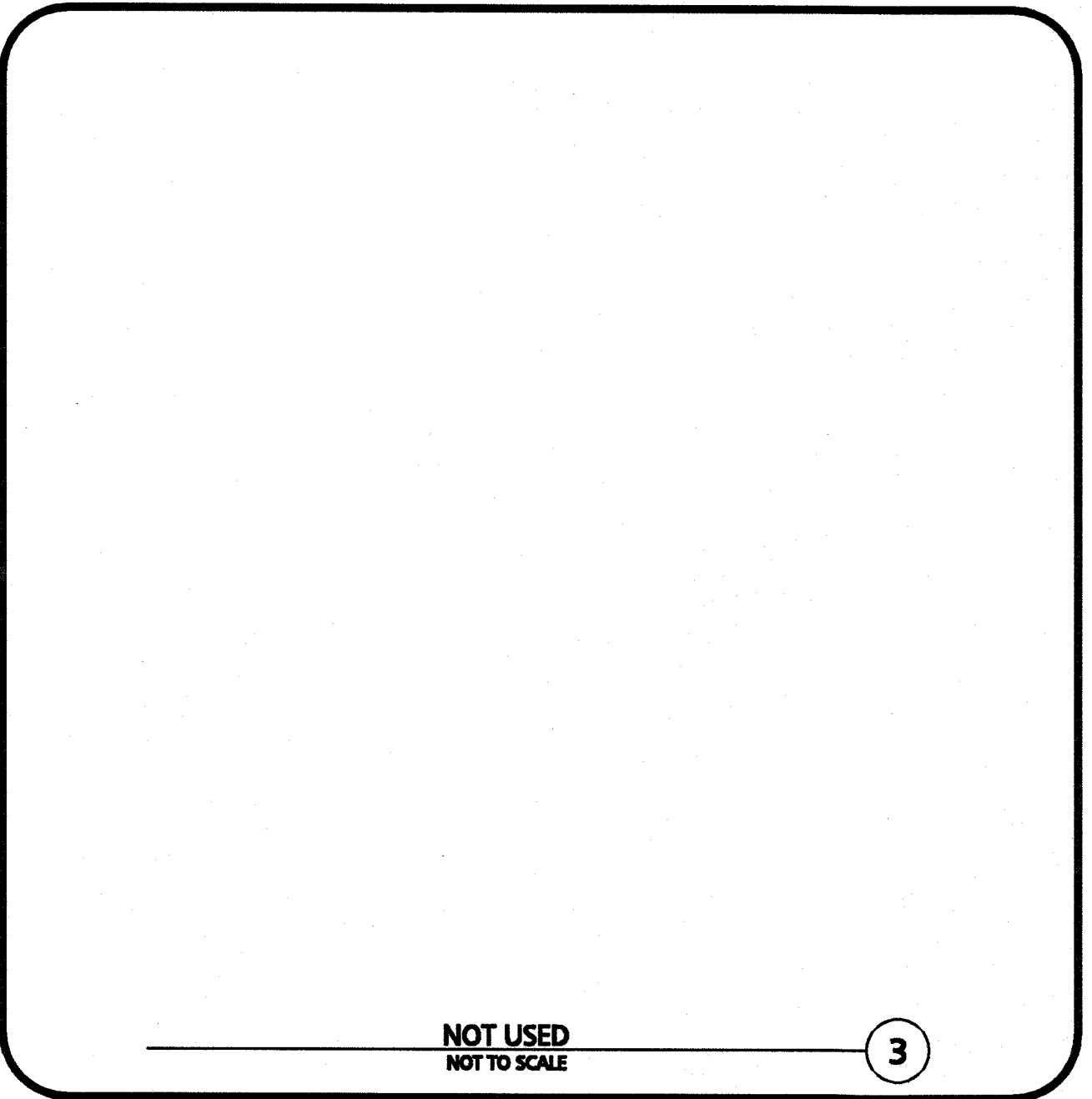
PRECAST CONCRETE SEWER MANHOLE
(FORCE MAIN PUMP DESIGN BY OTHERS)
NOT TO SCALE



- NOTES:**
1. THE FINISHED SUBGRADE, IMMEDIATELY PRIOR TO PLACING THE GRAVEL SUBBASE THEREON, SHALL HAVE A RELATIVE COMPACTION OF NOT LESS THAN NINETY-FIVE PERCENT (95%) FOR A DEPTH OF SIX (6) INCHES AS DETERMINED BY AASHTO TEST DESIGNATION T-99, METHOD C. THE SUBGRADE SHALL BE SMOOTH AND UNIFORM AND TRUE TO THE REQUIRED GRADE AND CROSS SECTION.
 2. WHERE THE REQUIRED THICKNESS IS MORE THAN EIGHT (8) INCHES, THE MATERIAL SHALL BE PLACED AND COMPACTED IN TWO (2) OR MORE LAYERS OF APPROXIMATELY EQUAL THICKNESS BY THE MAXIMUM COMPACT THICKNESS OF ANY ONE (1) LAYER SHALL NOT EXCEED EIGHT (8) INCHES.
 3. PROOF-ROLL PREPARED SUBGRADE TO IDENTIFY SIFT POCKETS AND AREAS OF EXCESS YIELDING. EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED. SUBGRADE THAT DOES NOT CONFORM TO THE ABOVE REQUIREMENTS SHALL BE RESHAPED TO THE SPECIFIED TOLERANCE AND RECOMPACTED. NO MATERIAL SHALL BE PLACED UPON THE PREPARED SUBGRADE UNTIL THE SUBGRADE IS IN A CONDITION MEETING THE REQUIREMENTS SPECIFIED.
 4. CONTRACTOR SHALL COORDINATE SURFACE, BINDER, BASE, AND SUBBASE COURSES WITH ALL LOCAL SUBDIVISION RULES AND REGULATIONS AND GEOTECHNICAL OR SOILS REPORT AS NEEDED, REFER TO REPORT FOR RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
 5. BASE COURSE SHALL EXTEND 6 INCHES BEYOND PAVEMENT EDGE WHERE PAVEMENT DOES NOT ABUT CURB, WALL, STEPS, OR FIXED OBJECT.
 6. PAVEMENT EDGES SHALL BE TAMPED WHERE PAVEMENT DOES NOT ABUT CURB, WALL, STEPS, OR FIXED OBJECT.

STANDARD DUTY PAVING
A = 3" TOTAL PROFILE DEPTH OF BITUMINOUS CONCRETE WITH 2" LAYER OF CLASS I BITUMINOUS CONCRETE BINDER COURSE, TYPE I-1 OVER 1" LAYER OF CLASS I BITUMINOUS CONCRETE WEARING SURFACE, TYPE I-2
THE BITUMINOUS CONCRETE SHALL BE MIXED, SPREAD, FINISHED AND COMPACTED IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
B = 12" GRANULAR BASE COURSE - M1.03.1, PROCESSED GRAVEL FOR SUBBASE

STANDARD DUTY BITUMINOUS PAVEMENT
NOT TO SCALE



I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE NOTICE OF APPROVAL FROM THE TOWN OF NORTHBOROUGH PLANNING BOARD WAS RECEIVED AND RECORDED, AND NO NOTICE OF APPEAL HAS BEEN FILED IN THIS OFFICE.

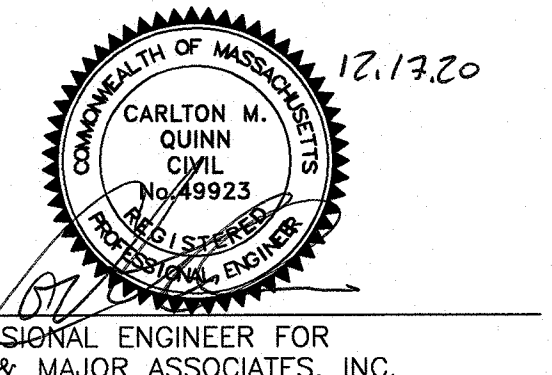
TOWN CLERK _____ DATE _____

SUBJECT TO A COVENANT DATE _____ AND DULY EXECUTED, RUNNING WITH THE LAND TO BE RECORDED BY OR FOR THE OWNER OF RECORD.

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

TOWN OF NORTHBOROUGH PLANNING BOARD

DATE: _____



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

OWNER:
NORTHBOROUGH LAND REALTY TRUST
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
PROPOSED NON-RESIDENTIAL DEFINITIVE SUBDIVISION
PARCEL H WAY
0 BARTLETT STREET
MAP 51 LOT 3 & MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO.: 1145-09 **DATE:** DEC 17, 2020

SCALE: AS SHOWN **DWG. NAME:** C-1145-09

DESIGNED BY: DMR/NCD **CHECKED BY:** CMQ

PREPARED BY:



WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: DETAILS **SHEET No.:** C-503

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