



TOWN OF NORTHBOROUGH Zoning Board of Appeals

Town Hall Offices • 63 Main Street • Northborough, MA 01532 • 508-393-5019 • 508-393-6996 Fax

For Board Use Only:
Case No. 20-14
Filing Date: _____

APPLICATION FOR HEARING (This form to be filed with Town Clerk)

Request is for: (check all that apply)

- Variance Special Permit Special Permit with Site Plan Approval
- Special Permit (per 7-07-010, Groundwater Protection Overlay District)
- Appeal 40B Comprehensive Permit

2020 AUG 19 AM 9:53
NORTHBOROUGH TOWN CLERK

Property Information

1. Location of Property:

Street Address 17 Mayflower Rd.
 GIS Map # 95 Parcel # 89
 Zoning District(s): R Groundwater Protection Overlay District(s): 3

2. Name of Petitioner(s): Geodi Pellerin (Owner) Tenant/ Agreed Purchaser/ Other (circle one)

Address: 17 Mayflower Rd.
 Telephone #: (774) 258-1127 Email: geodipellerin1@gmail.com

3. Name of Presenter(s): Geodi Pellerin Address: 17 Mayflower Rd. Telephone #: (774) 258-1127 Email: geodipellerin1@gmail.com

4. Name of Owner(s) of Property: Geodi + Keith Pellerin Address: 17 Mayflower Rd. Telephone #: (774) 258-1127 Email: geodipellerin1@gmail.com

5. Property Owner's Knowledge and Consent

I (we) have knowledge of, and consent to, the application for the project as presented.

Geodi Pellerin
Signature of Property Owner

8/15/20 4/5/24
Date

Geodi Pellerin
Please Print Name



TOWN OF NORTHBOROUGH Zoning Board of Appeals

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December 3, 2020

Geodi Pellerin
17 Mayflower Road
Northborough, MA 01532

Re: 17 Mayflower Road

Dear Ms. Pellerin:

Enclosed, please find a Certificate of No Appeal for the above referenced property. The Certificate, along with the original decision, must be filed with the Worcester Registry of Deeds, located at 90 Front Street, C201, Worcester, MA 01608, and a recorded copy given to the Town Clerk's Office and the Building Inspector.

Should you have any questions, please feel free to contact our office at (508)393-5019.

Respectfully,

Michelle Cilley
Administrative Assistant
Zoning Board of Appeals



ZONING BOARD OF APPEALS
CERTIFICATION
(20 DAYS HAVE ELAPSED)

ZBA CASE NO. 20-14

PROPERTY LOCATION: 17 Mayflower Road

PETITIONER & PROPERTY OWNER: Geodi Pellerin

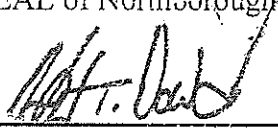
RECORDED WITH THE WORCESTER DISTRICT REGISTRY OF DEEDS: Book: 44826 Page: 183

I, Andrew T. Dowd, Town Clerk of the Town of Northborough, Massachusetts, hereby certify as follows:

1. The original Zoning Board of Appeals Application for a **Variance** for premises located at 17 **Mayflower Road** thereof was filed with me as said Town Clerk on **August 19, 2020**.
2. The Northborough Zoning Board of Appeals decision dated: **September 29, 2020** relative to an application by **Geodi Pellerin** for a **Variance** at **17 Mayflower Road, NORTHBOROUGH** was filed with the Town Clerk's Office on **November 5, 2020**.
3. **Twenty (20) days have elapsed** since filing the Zoning Board of Appeals Decision with the Town Clerk; and
4. **NO APPEAL THEREFROM HAS BEEN FILED.**

Witness my Hand and the TOWN SEAL of Northborough this 26th of November 2020.

A true copy attest:



Andrew T. Dowd, Town Clerk



TOWN OF NORTHBOROUGH Zoning Board of Appeals

Town Hall Offices • 63 Main Street • Northborough, MA 01532 • 508-393-5019 • 508-393-6996 Fax

DECISION

ZBA CASE NO. 20-14

PROPERTY LOCATION: 17 Mayflower Road

PETITIONER and PROPERTY OWNER: Geodi Pellerin

Recorded with the Worcester District Registry of Deeds: Bk: 44826 Pg: 183

This document is the **DECISION** of the Northborough Zoning Board of Appeals to consider the petition of Geodi Pellerin for a Variance to allow a carport to be located less than the required 15 feet from a side-yard setback on a pre-existing nonconforming lot. The subject property is located at 17 Mayflower Road, Map 95, Parcel 89, in the Residential C District and Groundwater Protection Overlay District Area 33.

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 20A, S18, and the Governor's March 15, 2020 Order imposing strict limitations on the number of people that may gather in one place, this meeting of the Northborough Zoning Board of Appeals was conducted via remote participation.

APPLICATION

1. On August 19, 2020, the Applicant filed with the Town Clerk an Application for Hearing before the Zoning Board of Appeals to consider the petition of Geodi Pellerin for a Variance to allow a garage to be located less than the required 15 feet from a side-yard setback. The proposed attached garage would encroach into the setback by 4 feet. The relief sought is from a side-yard setback requirement per Section 7-06-030. Table 2, of the Northborough Zoning Bylaw. The subject property is located at 17 Mayflower Road, May 95, Parcel 89 in the Residential C District and Groundwater Protection Overlay District Area 3.
2. Notice of the public hearing was duly published in "THE WORCESTER TELEGRAM & GAZETTE" on September 6, 2020 and September 13, 2020; and was mailed to applicant and other parties in interest on September 6, 2020.

EXHIBITS

Submitted for the Board's deliberation were the following exhibits:

Application for Hearing before the Zoning Board of Appeals, including:

- a. A Zoning Interpretation Request Form for 17 Mayflower Road, signed by Robert J, Frederico, Inspector of Buildings/Zoning Enforcement Officer, dated August 11, 2020;

RECORDED
2020 NOV - 5 PM 3:36
TOWN OF NORTHBOROUGH

- b. A certified abutters list for parcels 300 feet from 17 Mayflower Road, Northborough, MA prepared by the Northborough Board of Assessors, and a GIS Viewer Map of the site, titled 17 Mayflower Road-300ft abutters, both dated August 18, 2020;
- c. A Deed for 17 Mayflower Road, Northborough, Worcester County, Massachusetts, recorded at the Worcester District Register of Deeds on September 26, 1985, Bk: 44826, Pg: 183; and
- d. An 8.5" x 11" black and white packet entitled "Structural Design Stand Package Partially Enclosed (Utility) Building", Prepared by Moore and Associates Engineering and Consulting, Inc.

HEARING

Applicant Geodi Pellerin presented the Application at a duly noticed public hearing of the Board on September 29, 2020. Participating Board members were Fran Bakstran, Chairperson; Brad Blanchette, Richard Rand, Mark Rutan, Paul Tagliaferri; and Alternate members Leslie Harrison, and Jeffery Leland, and voting members were Fran Bakstran Chairperson; Brad Blanchette, Richard Rand, Mark Rutan, and Paul Tagliaferri.

Ms. Pellerin explained the proposed project is for a carport to be constructed over a portion of her driveway. The parcel is in the Residential C zoning district and Groundwater Protection Overlay Area 3. The lot is a pre-existing nonconforming lot and the Applicant is seeking to place the carport 11 feet from the side setback and the Zoning Bylaw requires 15 feet from the side setback.

No person spoke in opposition of the proposed project; and the board received no letters in opposition of the project.

The hearing was closed on September 29, 2020.

FINDINGS OF FACT

1. The subject property at 17 Mayflower Road is in the Residential C District and Groundwater Protection Overlay District Area 3.
2. In the Residential C District, the required side setback is 15 feet.
3. The Applicant is seeking a Variance to allow the placement of the carport to be located less than the required 15 feet from the front-yard setback, per Section 7-06-030, Table 2., Density and Dimensional Regulations, Table 2., Table of Density and Dimensional Regulations, in the Residential C District, of the Northborough Zoning Bylaw; on the property located at 17 Mayflower Road, Map 95, Parcel 89.
4. Due to circumstances relating to the pre-existing nonconforming lot and the parcel being a corner lot, a literal interpretation of the Zoning Bylaw would involve substantial hardship.
5. The relief sought will not constitute substantial detriment to the public good.
6. The relief sought may be given without nullifying or substantially derogating from the intent or purpose of the Northborough Zoning Bylaw.

DECISION

1. On September 29, 2020, after due consideration of the Application, the Board unanimously voted to **Grant a Variance**, by a roll call vote, to allow an encroachment of 4 feet into the 15 foot side-yard setback for the placement of a carport per Section 7-06-030, Table 2., Density and Dimensional Regulations, Table 2., Table of Density and Dimensional Regulations, in the Residential C District, of the Northborough Zoning Bylaw; on the property located at 17 Mayflower Road, Map 95, Parcel 89, due to the shape of the lot.
2. The Roll Call vote was taken by the members, as follows:

Fran Bakstran	"aye"
Brad Blanchette	"aye"
Mark Rutan	"aye"
Paul Tagliaferri	"aye"
Richard Rand	"aye"
3. Appeals, if any from this decision shall be made pursuant to Massachusetts General Laws, Ch. 40A, Sec. 17 and shall be filed within twenty (20) days after the date of filing of this decision in the office of the Town Clerk.
4. The **VARIANCE** shall not take effect until a copy of the decision bearing the certificate of the Town Clerk is recorded with the Worcester District Registry of Deeds in accordance with the provisions of Massachusetts General Laws, Ch. 40A, Sec. 11 and 15 stating that "twenty (20) days have elapsed after the decision has been filed in the office of the Town Clerk and no appeal has been filed, or if such appeal has been filed it has been dismissed or denied."
5. If the rights authorized by the **VARIANCE** is not exercised within one year from the time of granting, they shall lapse in accordance with the provisions of Massachusetts General Laws, Ch. 40A, Sec. 9.

**TOWN OF NORTHBOROUGH, MASSACHUSETTS
ZONING BOARD OF APPEALS**



FRAN BAKSTRAN, CHAIRPERSON

Project Information

1. Explain what you want to do or construct and state which provision(s) of the Zoning Bylaw requires you to obtain a Variance and/or Special Permit in order to do it:

I want to put a carport at the top of my driveway.

A. Variance: you must provide all of the following information:

1. Specifically, what are the soil conditions, shape or topography of your lot or structure which especially affect this lot, as distinguished from other lots in the zoning district in which it is located?

lot is the same as all others on the street.

2. What is the hardship which is caused by the factors listed in 7A above?

3. What facts will support a finding that the relief sought and will not constitute substantial detriment to the public good?

carport will match house and will meet all other setbacks except for the one we are seeking relief for as identified on GIS drawing.

4. What facts will support a finding that the relief sought may be given without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw?

The carport will not reduce property values & will ~~be~~ not be a solid structure w/ sides. It will have a roof & small gable ~~roof~~ covered & the rest of the structure will be open.

Special Permit

Submit written information with this application to show compliance with the following requirements of Section 7-03-040 C.:

1. The proposal is in substantial harmony with the Northborough Master Plan and other plans approved or amended from time to time by the Northborough Planning Board, and with the purposes of this bylaw;
2. The proposed site is an appropriate location for such use;
3. The use as developed will not adversely affect the neighborhood;
4. There will be no nuisance or serious hazard to vehicles or pedestrians;
5. Adequate and appropriate facilities will be provided for the proper operation of the proposed use;
6. The proposed use will conform to any special requirements of the special permit granting authority as stated in its written decision; and
7. The proposal could not reasonably be altered to reduce adverse impacts on the natural environment, to be compatible with historic development patterns of the town, or to preserve historically significant buildings.

B. Special Permit with Site Plan Review/Approval - 7-03-050A(2) & 7-09-020

1. Attach a copy of the site plan which includes contents as required per 7-03-050 D and 7-09-020

C. Special Permit under Chapter 7-07-010 of the Zoning Bylaw (Groundwater Protection Overlay District)

1. Attach a copy of all plans and documents as required under 7-07-010 D(4)(a)

D. Appeal

1. State the specifics of the appeal.

E. If you have any knowledge of a prior application, petition or appeal concerning the subject property, describe the case and the dates thereof and attach a copy of any decision issued in connection with the above.

This page to be completed on day of applying with the Town Clerk.

Signed this _____ day of _____, _____

COMMONWEALTH OF MASSACHUSETTS

WORCESTER, ss

Date: _____

Then personally appeared the above-named, _____, and made oath and said that the foregoing statements and representations contained in the application herein and attachments hereto are true and accurate to the best of her/his knowledge, information and belief, before me,

Notary Public

My commission expires: _____

OFFICE OF THE TOWN CLERK

Date: 8/19/20

Application herein, including list of abutters from the Board of Assessors and filing fee of \$ 75- received this date.



Town Clerk



Town of Northborough

Building Department

63 Main Street
 Northborough, MA 01532-1994
 (508) 393-5010 Office
 (508) 393-6996 Fax

CALCULATION SHEET FOR INCREASE TO IMPERVIOUS SURFACE: GROUNDWATER PROTECTION OVERLAY DISTRICT

Town of Northborough Zoning Bylaw Chapter 7-28, Groundwater Protection Overlay Districts. This form is intended for "Residential single family dwellings such that impervious cover of the building lot is increased over existing condition by no more than fifteen percent (15%)." (Existing conditions as they occurred in May 1986)

By definition: Impervious Surface – Material on the ground that prevents surface water from infiltrating into the soil and underlying groundwater system; impermeable.

This includes the following: Dwellings, all driveways (paved or unpaved), pools, cement aprons, walkways, any out buildings, sheds, and any similar ground covers. NOTE: does NOT include open decks.

ADDRESS: 17 Mayflower Rd

GROUNDWATER PROTECTION OVERLAY AREA: 1 2 **3**
 (please circle all as appropriate)

A.) LOT SIZE:

Total Sq.Ft.	A. 13939.2
--------------	------------

SECTION I: PRE-EXISTING impervious surface: (in this section, calculate the amount of impervious ground cover that existed on the lot on May 16, 1986. (when the regulations came into effect).

Use the chart provided below to calculate the pre-existing impervious ground cover (do not include open decks)

(Show calculations)

Dwelling:	30x23 s.f. 10x12 210	Shed:	10x10 s.f. 100	Other:	s.f.
Driveway:	48' x 18' s.f. (864)	Pool:	NA	Other:	s.f.
Walkways:	36.42 x 3 s.f. 17.42 x 3.5 s.f.	Pool:	NA	Other:	s.f.
		Aprons:	NA		

B.) PRE-EXISTING IMPERVIOUS SURFACE

Total Sq. Ft. (from chart above)	B. 1854.23
-------------------------------------	------------

C.) Pervious Surface (difference between A & B)

("A minus "B")	C. 12,084.97
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D.) ALLOWABLE EXPANSION OF IMPERVIOUS SURFACE: (This is the maximum amount of area that can be covered with impervious groundcover before a recharge will be required.

Multiply "C" by 0.15	X 0.15
	D. 1812.75

SECTION II: INCREASE to impervious surface from May 1986 to present (not to include what you are proposing to do) In this section, calculate the amount of impervious ground cover that has been added since May 16, 1986.

Dwelling:	s.f.	Shed:	s.f.	Other:	s.f.
Driveway:	s.f.	Pool:	s.f.	Other:	s.f.
Walkways:	s.f.	Pool Aprons:	s.f.	Other:	s.f.

E.) Increase to Impervious Ground Cover
(Added after May 16, 1986)

Total Sq. Ft.
(from chart above)

E. \emptyset

SECTION III: PROPOSED new project: In this section please describe your proposed project and calculate the square footage of impervious surface that it will cover.

I want to add a carport over top portion of existing driveway. The carport is 18'x20' but will not add to existing driveway sqft which is already calculated in section 1.

F.) Total Impervious Groundcover that proposed project will cover

F. 360

G. Total increase to impervious surface:

Note: this amount should not be more that "D"

Total of
"E"&"F"

G. 360

NOTE: IF "G" is greater than "D" either a GWPO variance (ZBA), and/or designing a recharge area (see the Town Engineer) will be required.

Applicant: Gerdy Pellerin
Please print name

Date: 8/16/20

Signature: Gerdy Pellerin
Ownery/ Contractor (circle one)

Phone # 774-258-1627

Reviewed by Building Inspector:

[Signature]
Signature

8/20/2020
Date



TOWN OF NORTHBOROUGH Building Department
 Town Hall Offices • 63 Main Street • Northborough, MA 01532 • 508-393-5010 • Fax 508-393-3130

ZONING INTERPRETATION REQUEST FORM

Property Address: 17 Mayflower Rd. Northborough, MA 01532

Does the Property Have: Public Water: Yes No Public Sewer: Yes No

Current Use: single family residence

Proposed Use: would like add a carport over the top part of the driveway.

Applicant Name: Gendi Pellerin Phone Number: 774-258-1627

Email Address: gendipellerin1@gmail.com

Map & Parcel Number: 95-89 *For Official Use Only* Property Zoning District: RC Flood, wetlands SINEM
 Groundwater Protection Overlay District: Area 1 Area 2 Area 3 N/A
 Lot Area Required Have Street Frontage Required Have
 Setbacks Required 30/15/25 Have Bylaw Citation for Proposed Use:

Comments: FSR 7-06-030 TABLE 2.

MINIMUM SIDELAND SETBACK IS 15', A VARIANCE GRANTING 4 FEET OF RELIEF IS REQUIRED (ZBA)

15% INCREASE TO IMPERVIOUS SURFACE REQUIRED

Is the proposed use allowed in the Zoning District: Yes By PB By ZBA No
 Does the use require a GPOD Special Permit: Yes No N/A Conservation required: Yes No
 Special permit required: Yes No N/A Special Permit w/ Site Plan Approval: Yes No
 Earthwork permit required: Yes No Design Review required(7-03-060): Yes No

Signature: [Signature]
 Robert J. Frederico
 Inspector of Buildings/Zoning Enforcement Officer

Date: 8-11-2020

This Zoning Interpretation is for informational purposes only. This Zoning Interpretation does not give permission to construct, alter, demolish or change the use of a property. This Interpretation may require a variance and/or special permit which is granted by either the Zoning Board of Appeals (ZBA)/Planning Board (PB) or both.

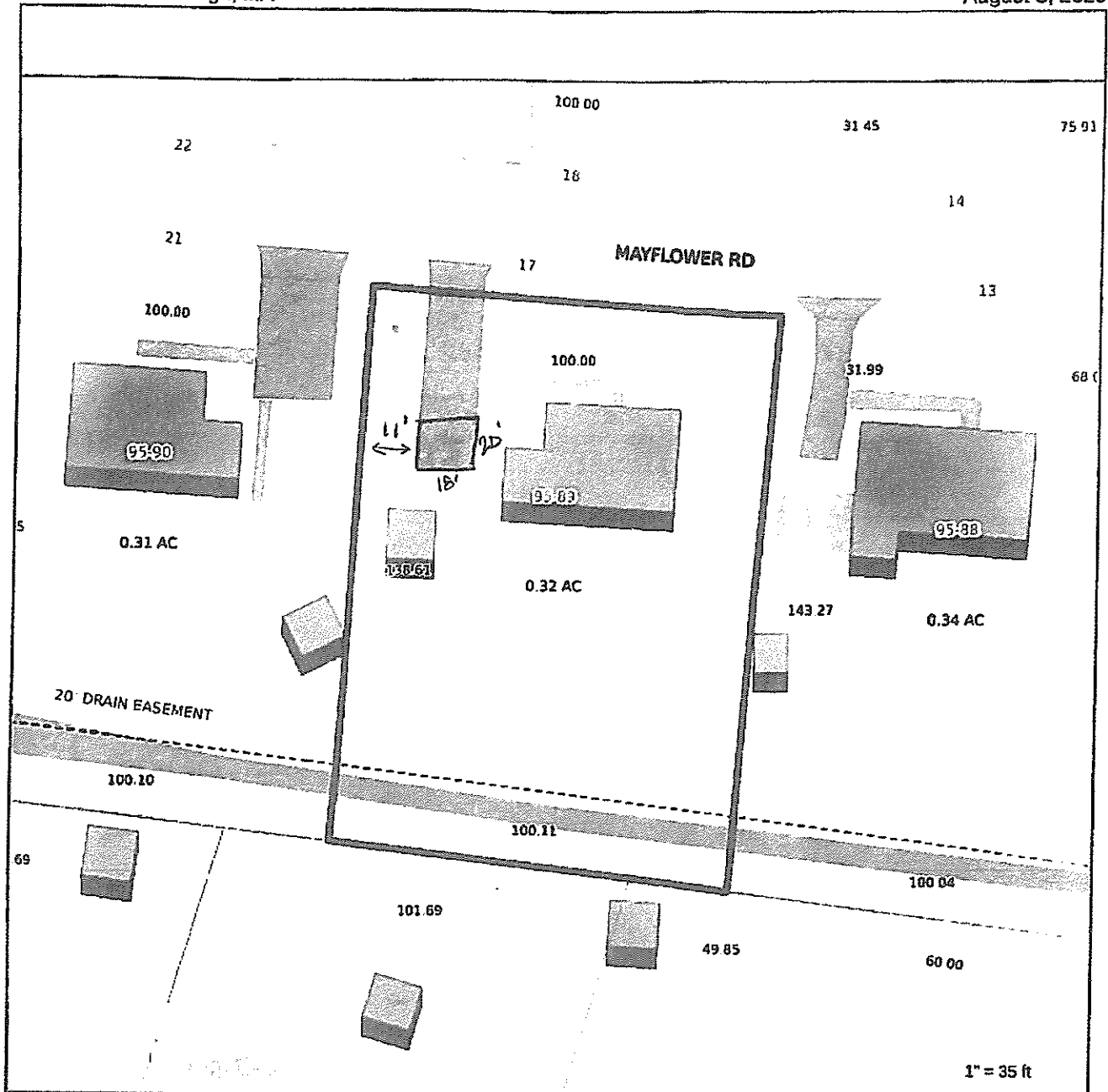


Property Information
Property ID 095.0-0089-0000.0
Location 17 MAYFLOWER ROAD
Owner PELLERIN (JOHNSTON) GEODI L AND



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Northborough, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.



Property Information
 Property ID 095.0-0089-0000.0
 Location 17 MAYFLOWER ROAD
 Owner PELLERIN (JOHNSTON) GEODI LAND



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

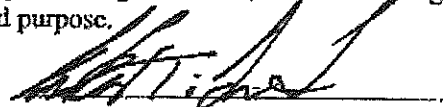
Town of Northborough, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

COMMONWEALTH OF MASSACHUSETTS

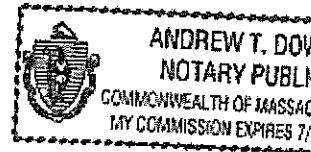
WORCESTER, ss

August 24, 2009

On this 24th day of August 2009, before me, the undersigned notary public, personally appeared GEODI L. PELLERIN f/k/a GEODI L. JOHNSTON, through satisfactory evidence of identification, which was a MA Driver's License, to be the person whose name is signed on the proceeding document, and acknowledged to me that she signed it voluntarily for its stated purpose.



Notary Public
My Commission Expires:



ATTEST: WORC. Anthony J. Vigliotti, Register

VD
C
MASS
14/2011



2003 00107641

Bk: 44826 Pg: 183

Page: 1 of 2 09/11/2009 09:11 AM WD

QUITCLAIM DEED

I, **GEODI L. JOHNSTON** of 17 Mayflower Road, Northborough, Massachusetts 01532, for consideration paid and for full consideration of Less than One (\$1.00) Dollar, grant to **GEODI L. PELLERIN f/w/a GEODI L. JOHNSTON and KEITH J. PELLERIN** of 17 Mayflower Road, Northborough, Massachusetts, 01532, husband and wife, Tenants by the Entirety

WITH QUITCLAIM COVENANTS

A certain parcel of land with the buildings thereon located on the southerly side of Mayflower Road and situated in Northborough, Worcester County, Massachusetts and shown as Lot C31 Mayflower Road, Section "C", Northgate North on a plan of Northgate drawn by Robinson Engineering, Inc., and recorded with Worcester District Registry of Deeds in Plan Book 206, Plan No. 86 and bounded and described as follows:

*Property address: 17 Mayflower Rd.
Northborough, MA 01532*

- BEGINNING at a point on the Southerly side of Mayflower Road at the intersection of the Easterly lot line of Lot No. C31 and said Mayflower Road;
- THENCE S. 18° 35' 20" W., 138.61 feet along the boundary of Lot C30;
- THENCE S. 68° 44' 40" E., 100.11 feet along boundary of Lots C39 and C38;
- THENCE N. 18° 35' 20" E., 143.27 feet along the boundary of Lot C32;
- THENCE N. 71° 24' 40" W., 100.00 feet along Mayflower Road to point of beginning.

The above premises are conveyed subject to restrictions and reservations in re drain easements as set forth in deed from Northgate Corporation to Ralph D. Hesselton and Helen U. Hesselton, dated September 26, 1985, recorded with Worcester District Registry of Deeds in Book 3809, Page 10m insofar as the same are now in force and applicable.

Executed as a sealed instrument this 14 day of August 2009.

Geodi L. Pellerin
GEODI L. PELLERIN f/w/a GEODI L. JOHNSTON

COMMONWEALTH OF MASSACHUSETTS

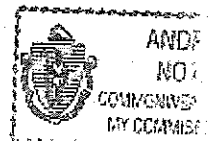
WORCESTER, ss

August 27, 2009

On this 27th day of August 2009, before me, the undersigned notary public, personally appeared GEODI L. PELLERIN d/k/a GEODI L. JOHNSTON, through satisfactory evidence of identification, which was a MA Driver's License, to be the person whose name is signed on the proceeding document, and acknowledged to me she signed it voluntarily for its stated purpose.

[Handwritten Signature]

Notary Public
My Commission Expires:



ATTEST: WORC. Anthony J. Vigliotti, Register



STRUCTURAL DESIGN
INTERMEDIATE SNOW PACKAGE
ENCLOSED BUILDING

MAXIMUM 30'- 0" WIDE X 20'- 0" HEIGHT-
BOX EAVE FRAME AND BOW FRAME

23 August 2023

Revision 2

M&A Project No. 19128S/21179S/23144S

Prepared for:

**Best Choice Metal Structures
370 Standard Street
Elkin, NC 28621**

Prepared by:

Moore and Associates Engineering and Consulting, Inc.

**1009 East Avenue
North Augusta, SC 29841**

**401 S. Main Street, Suite 200
Mount Airy, NC 27030**



Validity Notice

Plans Expiration Date: 23 August 2024

Plans are valid for one year from issuance date

Moore and Associates Engineering and Consulting, Inc. ("Moore & Associates") is the author and owner of all plans, drawings, specifications, etc. ("Instruments of Service") provided by it, and retains all common law, statutory, and other reserved rights, including without limitation copyrights. A limited license is granted to you for use of the Instruments of Service solely and exclusively in connection with the specific project for which the Instruments of Service were created by Moore & Associates. All other uses, including without limitation transfer to a third party, are strictly prohibited. Acceptance of the Instruments of Service constitutes your agreement to indemnify and to hold Moore & Associates harmless from all cost, expenses, damages, and attorney's fees arising from or relating to any unauthorized use or transfer of the Instruments of Service.

		<p>Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 60127, Expiration Date: <u>10/25/2024</u></p>	
			<p>Validity Notice Plans Expiration Date: 23 August 2024</p>

<p>MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.</p>		<p>DRAWN BY: LT</p>	<p>BEST CHOICE METAL STRUCTURES 370 STANDARD STREET ELKIN, NC 28621 30'-0" x 20'-0" ENCLOSED STRUCTURE</p>		
<p>THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.</p>		<p>CHECKED BY: PDH</p>	<p>PROJECT MGR: J&P</p>	<p>DATE: 8-23-23</p>	<p>SCALE: NTS JOB NO: 191283/P1179S/P3144S</p>
<p>CLIENT: BEST CHOICE</p>		<p>SHT. 1</p>	<p>DWG. NO: SK-3</p>	<p>REV: 2</p>	

DRAWING INDEX

SHEET 1	PE SEAL COVER SHEET (1 OF 2)
SHEET 1A	PE SEAL COVER SHEET (2 OF 2)
SHEET 2	DRAWING INDEX
SHEET 3	INSTALLATION NOTES AND SPECIFICATIONS
SHEET 3A	LIST OF APPLICABLE BUILDING CODES
SHEET 4	TYPICAL END AND SIDE ELEVATIONS
SHEET 5	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE RAFTER)
SHEET 5A	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE RAFTER)
SHEET 6	COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE)
SHEET 6A	COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE)
SHEET 6B	COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE)
SHEET 6C	COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE)
SHEET 7	BASE RAIL ANCHORAGE OPTIONS
SHEET 7A	BASE RAIL ANCHORAGE OPTIONS
SHEET 8	TYPICAL END WALL AND SIDE WALL FRAMING SECTIONS (BOX EAVE RAFTER)
SHEET 9	CONNECTION DETAILS
SHEET 10	CONNECTION DETAILS
SHEET 11	LEAN-TO OPTIONS (BOX EAVE RAFTER)
SHEET 11A	LEAN-TO OPTIONS (BOX EAVE RAFTER)
SHEET 12	BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION
SHEET 13	HEADER OPTION

Validity Notice

Plans Expiration Date:

23 August 2024

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	BEST CHOICE METAL STRUCTURES 370 STANDARD STREET ELKIN, NC 28621 30'-0"x20'-0" ENCLOSED STRUCTURE		
	CHECKED BY: PDH			
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.	PROJECT MGR: JRP	DATE: 8-23-23	SCALE: NTS	JOB NO: 19128S/21179S/23144S
	CLIENT: BEST CHOICE	SHT. 2	DWG. NO: SK-3	REV: 2

INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES ON SHEET 3A.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) ROOF DEAD LOADS:
 - SELF-WEIGHT = 1.5 PSF
 - MEP = 0 PSF
 - COLLATERAL = 0 PSF
 - B) ROOF LIVE LOAD = 12 PSF
 - C) FLOOR LIVE LOAD = 100 PSF (4" CONCRETE SLAB/FOOTING)
 - D) GROUND SNOW LOAD = 60 PSF WITH WELDED RAFTER TIE (W ≤ 30'-0")
= 35 PSF (SINGLE TUBE RAFTER WITH RAFTER TIE ADEQUATE (W ≤ 30'-0"))
- NOTE: (UNBALANCED LOADING DUE TO SNOW DRIFTING FROM AN ADJACENT TALLER STRUCTURE HAS NOT BEEN EVALUATED).
DROP-DOWN LEAN-TO'S (THOSE CAUSING A HEIGHT DIFFERENTIAL FROM THE MAIN STRUCTURE SHALL BE LIMITED TO
GROUND SNOW LOADS ≤ 42 PSF).
4. 3-SECOND GUST ULTIMATE WIND SPEED (V_{ULT}) = 115 MPH (NOMINAL WIND SPEED = 89 MPH).
5. MAXIMUM RAFTER/COLUMN AND END COLUMN SPACING - 4.0 FEET (UNLESS NOTED OTHERWISE).
6. END WALL COLUMNS (POSTS) ARE EQUIVALENT TO SIDE WALL COLUMNS IN SIZE AND SPACING (UNLESS NOTED OTHERWISE).
7. RISK CATEGORY I (NOT FOR HUMAN OCCUPANCY).
8. WIND EXPOSURE CATEGORY B.
9. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE). WHERE TS 2 1/2" x 2 1/2" - 14 GAUGE IS SPECIFIED, TS 2 1/4" x 2 1/4" - 12 GAUGE MAY BE USED AS AN OPTION.
10. CONNECTOR SLEEVES ARE MINIMUM 6" LONG, TS 2"x2"-14 GAUGE FOR 2 1/4"x2 1/4"-14 GAUGE FRAMING MEMBERS (UNLESS NOTED OTHERWISE).
11. STRUCTURAL ANALYSIS/DESIGN IS BASED ON TS MEETING THE REQUIREMENTS OF ASTM A653 GRADE 50 WITH MINIMUM YIELD STRENGTH (F_y) OF 54 KSI AND GALVANIZING MEETING THE MINIMUM REQUIREMENTS OF G60.
12. AVERAGE PANEL FASTENER SPACING ON-CENTERS = 10" O.C. (MAX.)
13. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14° (3:12 PITCH) OR LESS. SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
14. ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL AT OR WITHIN 6" OF EVERY COLUMN (LEG).
15. STANDARD GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG AND MAY BE USED IN SUITABLE SOIL CONDITIONS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
16. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
SOIL SITE CLASS = D
RISK CATEGORY I
 $R = 3.25$ $I_E = 1.0$
 $S_{DS} = 2.625 g$ $V = C_s W$
 $S_{D1} = 2.13 g$
17. CONTRACTOR TO PROVIDE ADEQUATE BRACING FOR STRUCTURE SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE AND FOUNDATIONS ARE DESIGNED FOR A COMPLETED CONDITION ONLY AND, THEREFORE, REQUIRE ADDITIONAL SUPPORT TO MAINTAIN STABILITY BEFORE COMPLETION.
18. IF MORE THAN 50% OF COLUMN (LEG) ARE REMOVED IN ANY LONGITUDINAL (SIDE) WALL OF A BUILDING, THE ENGINEER IS TO BE NOTIFIED TO DETERMINE WHETHER KNEE BRACES OR OTHER LONGITUDINAL STABILITY ELEMENTS WILL BE REQUIRED.
19. ANALYSIS/DESIGN OF THIS STRUCTURE WAS BASED ON THE LOADS, BUILDING CODE, AND STRUCTURAL GEOMETRY NOTED HEREIN. NO CHANGES SHALL BE MADE TO THE STRUCTURE WITHOUT EXPRESS WRITTEN PERMISSION FROM THE DESIGN ENGINEER. ANY CHANGES IN THE USE OR GEOMETRY OF THE STRUCTURE IN ANY MANNER IS A VIOLATION OF THE BUILDING CODE AND NEGATES ANY LIABILITY ON THE PART OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.
20. **THIS MASTER DESIGN IS A GENERIC MASTER DESIGN PRIMARILY INTENDED FOR PLANT FABRICATION AND ERECTION AKIN TO SHOP DRAWINGS. THE MASTER DESIGN IS NOT PRIMARILY INTENDED FOR CONSTRUCTION PERMIT. WHEN APPLYING FOR BUILDING PERMIT, THE CERTIFIED BUILDING OFFICIAL MUST BE CONSULTED TO VERIFY WHETHER THE USE OF THE MASTER DESIGN IS ADEQUATE OR IF A SITE-SPECIFIC DESIGN IS REQUIRED FOR BUILDING PERMIT. ANY VARIATION FROM THE ANALYSIS/DESIGN PARAMETERS OF THE MASTER DESIGN REQUIRES THE DEVELOPMENT OF A SITE-SPECIFIC DESIGN.**

Validity Notice

Plans Expiration Date:

23 August 2024

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	BEST CHOICE METAL STRUCTURES 370 STANDARD STREET ELKIN, NC 28621		
	CHECKED BY: PDH	30'-0"x20'-0" ENCLOSED STRUCTURE		
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	CLIENT: BEST CHOICE	SHT. 3	DWG. NO: SK-3	REV: 2

LIST OF APPLICABLE BUILDING CODES

2021 INTERNATIONAL BUILDING CODE (IBC 2021)

2018 INTERNATIONAL BUILDING CODE (IBC 2018)

2015 INTERNATIONAL BUILDING CODE (IBC 2015)

2012 INTERNATIONAL BUILDING CODE (IBC 2012)

2021 IBC PORTION OF THE 2022 CT STATE BUILDING CODE
(ADOPTS THE IBC 2021 WITH AMENDMENTS)

GEORGIA STATE MINIMUM STANDARD BUILDING CODE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

COMMERCIAL BUILDING CODE OF THE MUBEC AND MUBC
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

MARYLAND BUILDING CODE 2021
(ADOPTS THE IBC 2021 WITH AMENDMENTS)
BALTIMORE CITY BUILDING CODE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

MA STATE BUILDING CODE, 9TH ED., BASE VOLUME
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

BUILDING CODE OF THE STATE OF NEW HAMPSHIRE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

UCC BUILDING SUBCODE
(ADOPTS THE IBC 2021 WITH AMENDMENTS)

2020 BUILDING CODE OF NEW YORK STATE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)
NYC BUILDING CODE 2022
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

2018 NORTH CAROLINA BUILDING CODE
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

OHIO BUILDING CODE 2017
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

PENNSYLVANIA BUILDING CODE 2018
(ADOPTS THE IBC 2018 WITH AMENDMENTS)
PHILADELPHIA BUILDING CODE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

2021 SOUTH CAROLINA BUILDING CODE
(ADOPTS THE IBC 2021 WITH AMENDMENTS)

TENNESSEE BUILDING CODE 2012
(ADOPTS THE IBC 2012 WITH AMENDMENTS)
BUILDING CODE OF THE CITY OF KNOXVILLE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)
NASHVILLE AND DAVIDSON COUNTY BUILDING CODE 2018
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

2018 VIRGINIA CONSTRUCTION CODE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

WEST VIRGINIA BUILDING CODE 2018
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

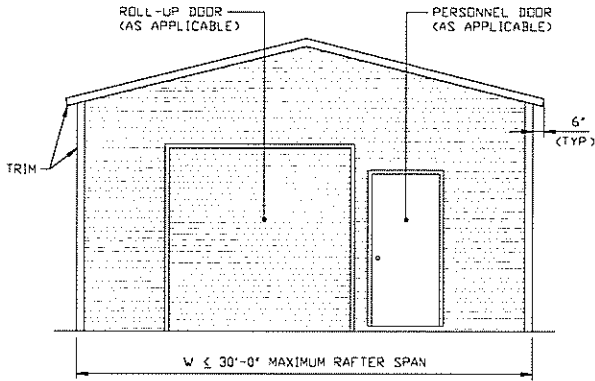
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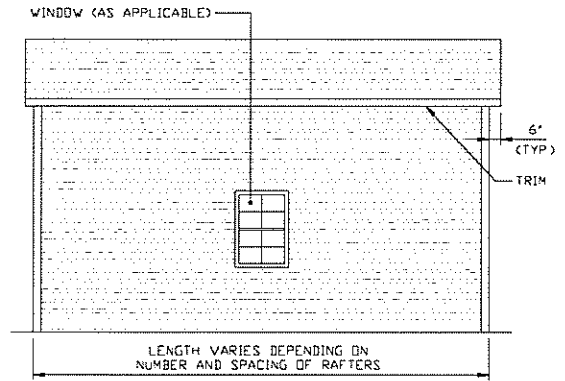
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	CLIENT: BEST CHOICE	SHT. 3A	DWG. NO: SK-3	REV: 2

BOX EAVE FRAME RAFTER STRUCTURE



TYPICAL END ELEVATION

SCALE: NTS



TYPICAL SIDE ELEVATION

SCALE: NTS

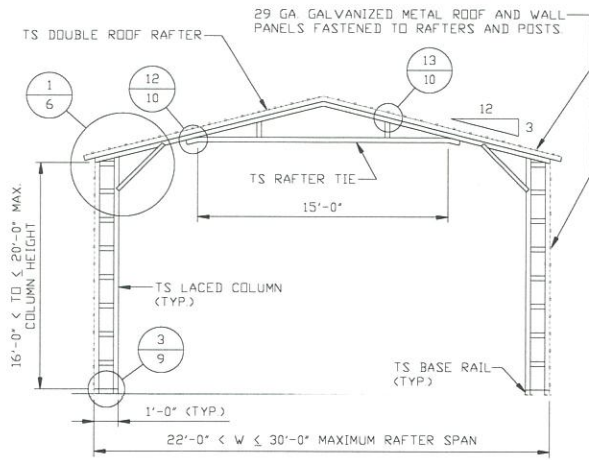
- NOTE 1. HORIZONTAL ROOF PANELING ONLY APPLICABLE FOR SNOW LOAD ≤ 30 PSF.
 2. HORIZONTAL ROOF PANELING NOT APPLICABLE FOR NEW YORK CITY.

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Plans Expiration Date:

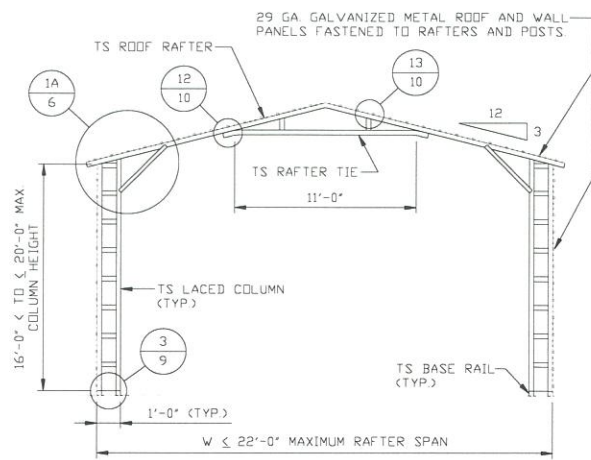
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	CLIENT: BEST CHOICE	SHT. 4	DWG. NO: SK-3	REV: 2



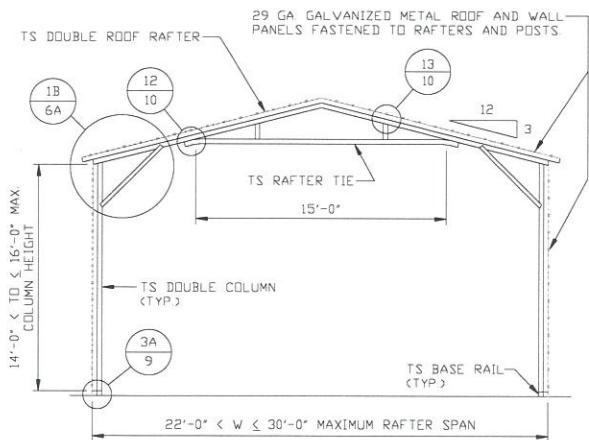
TYPICAL INTERIOR RAFTER/COLUMN FRAMING SECTION

SCALE: NTS



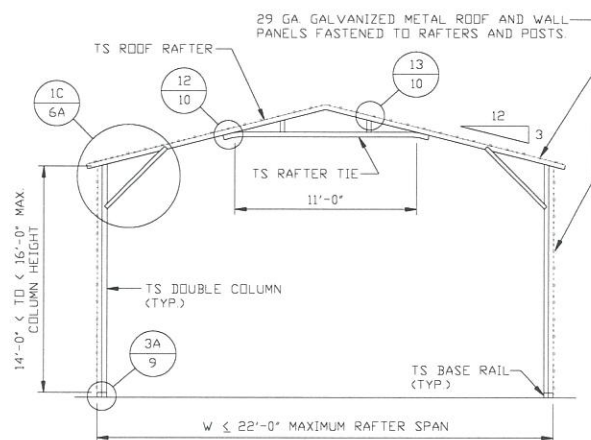
TYPICAL INTERIOR RAFTER/COLUMN FRAMING SECTION

SCALE: NTS



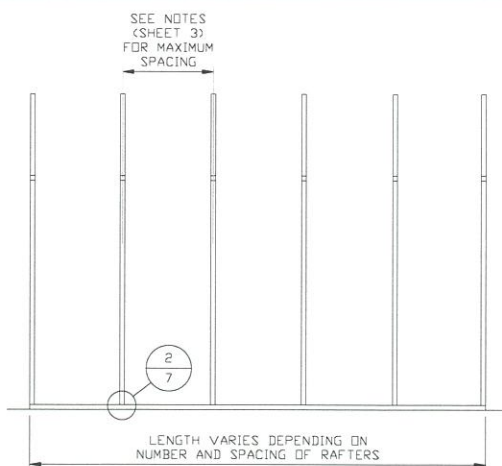
TYPICAL INTERIOR RAFTER/COLUMN FRAMING SECTION

SCALE: NTS



TYPICAL INTERIOR RAFTER/COLUMN FRAMING SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS

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**BEST CHOICE METAL STRUCTURES
370 STANDARD STREET
ELKIN, NC 28621
30'-0"x20'-0" ENCLOSED STRUCTURE**

DATE: 8-23-23

SHT. 5

SCALE: NTS

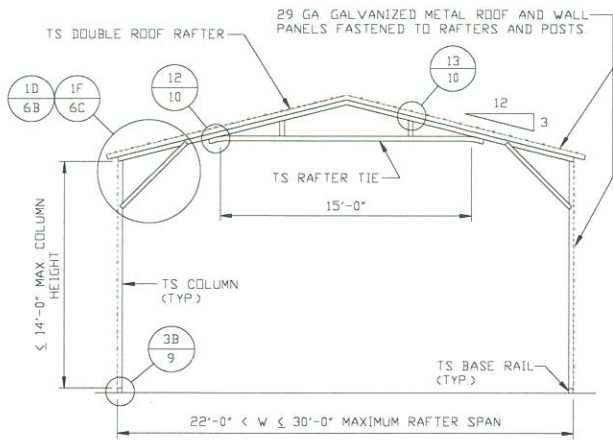
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JOB NO:

19128S/21179S/23144S

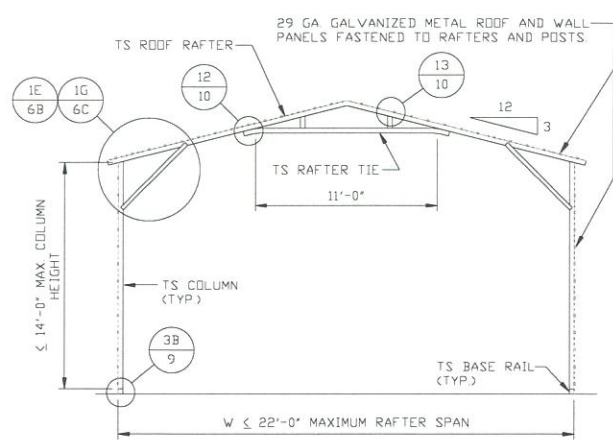
REV: 2

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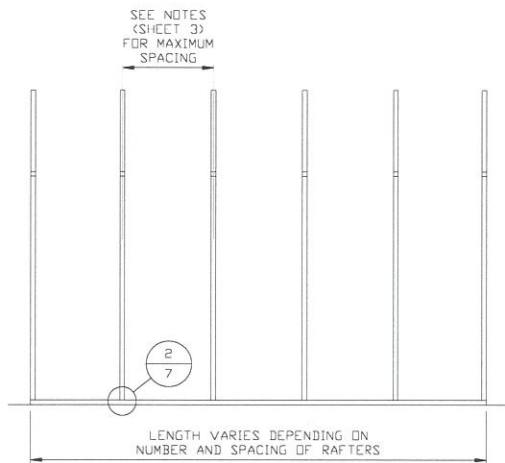
TYPICAL INTERIOR RAFTER/COLUMN FRAMING SECTION

SCALE: NTS



TYPICAL INTERIOR RAFTER/COLUMN FRAMING SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS

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370 STANDARD STREET
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30'-0"x20'-0" ENCLOSED STRUCTURE**

DATE: 8-23-23

SHT. 5A

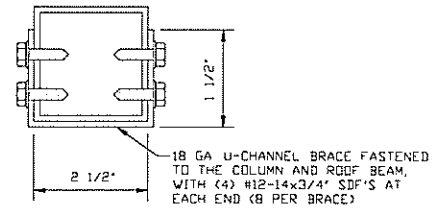
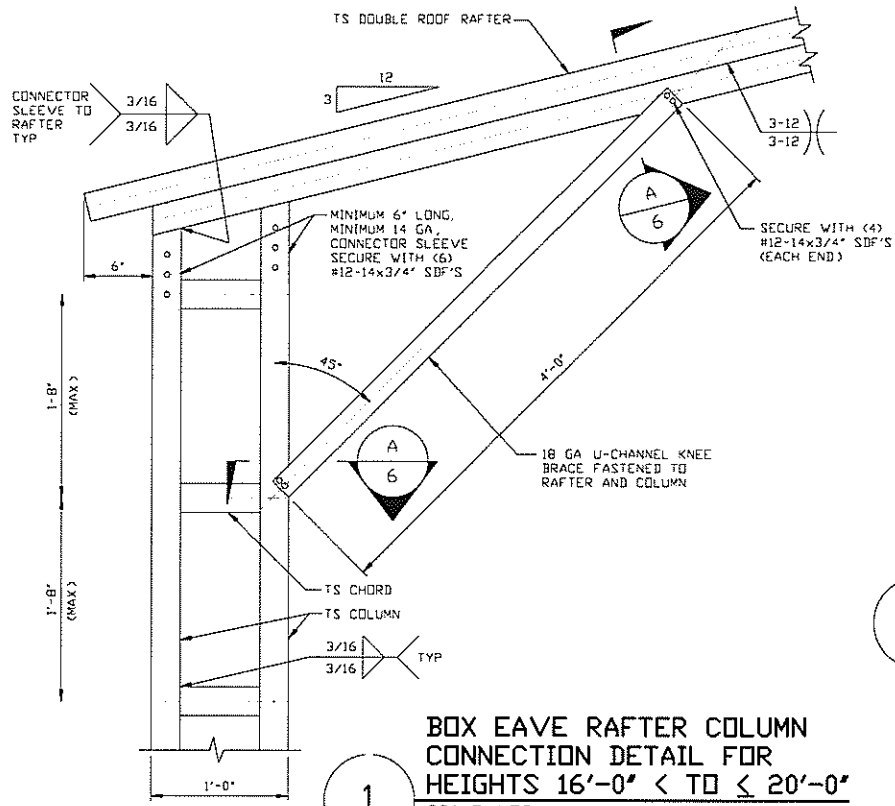
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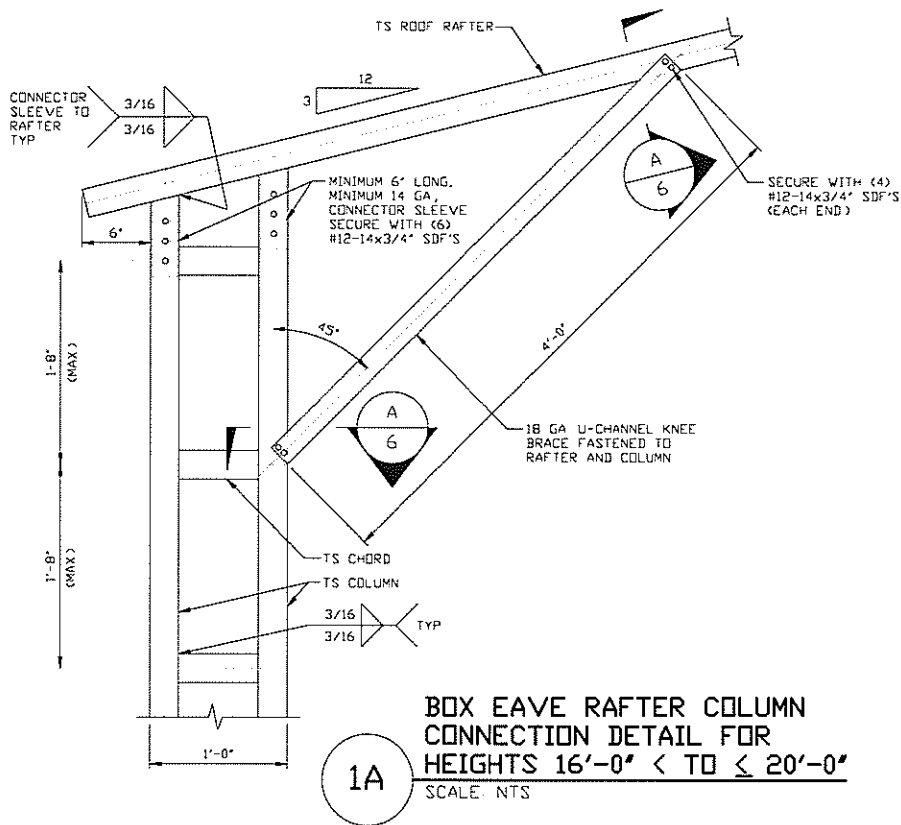
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A **BRACE SECTION**
SCALE: NTS



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DATE: 8-23-23

SHT. 6

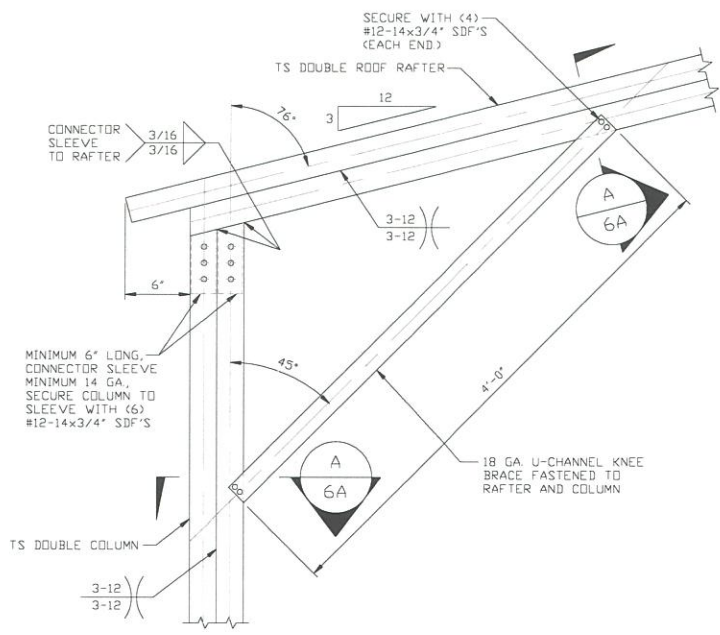
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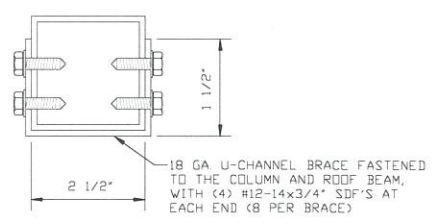
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19128S/21179S/23144S

REV: 2

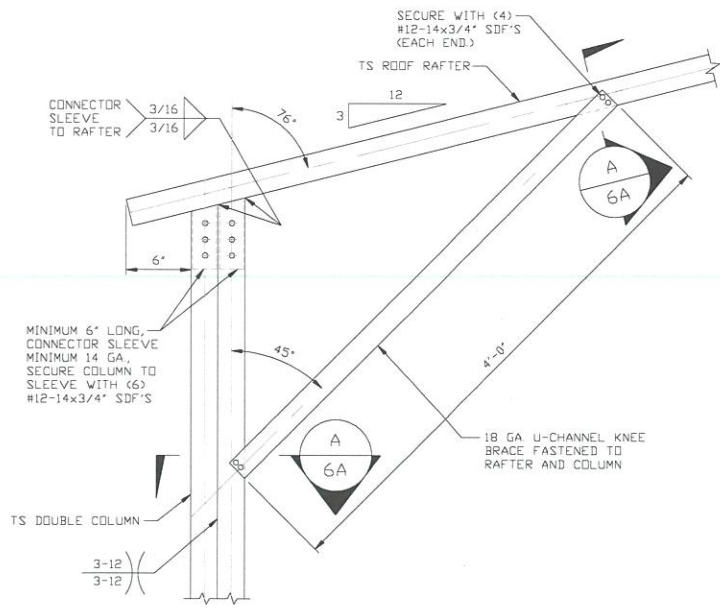
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1B BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 14'-0" < TO ≤ 16'-0" SCALE: NTS



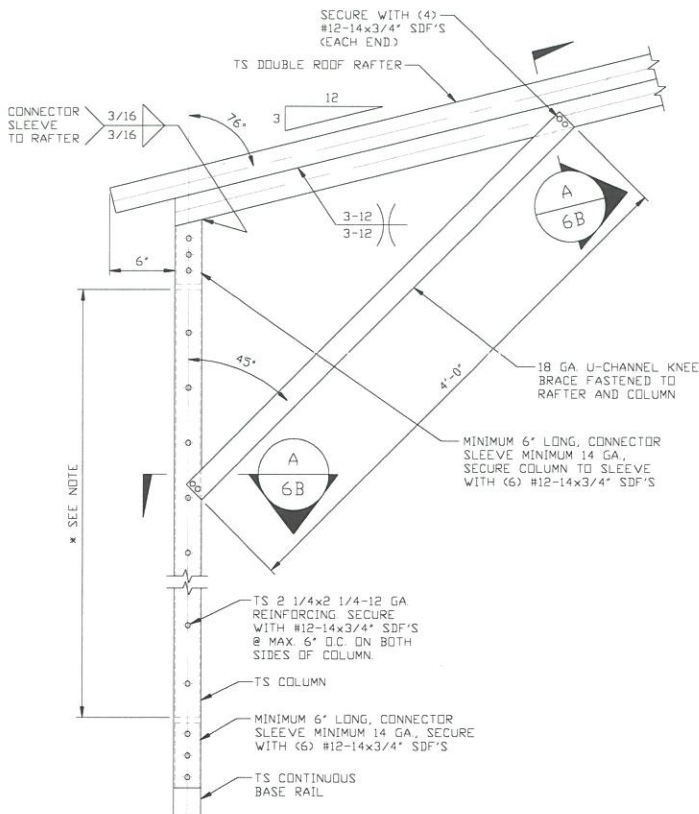
A BRACE SECTION SCALE: NTS



1C BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 14'-0" < TO ≤ 16'-0" SCALE: NTS

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	CLIENT: BEST CHOICE	SHT. 6A	DWG. NO: SK-3	REV: 2



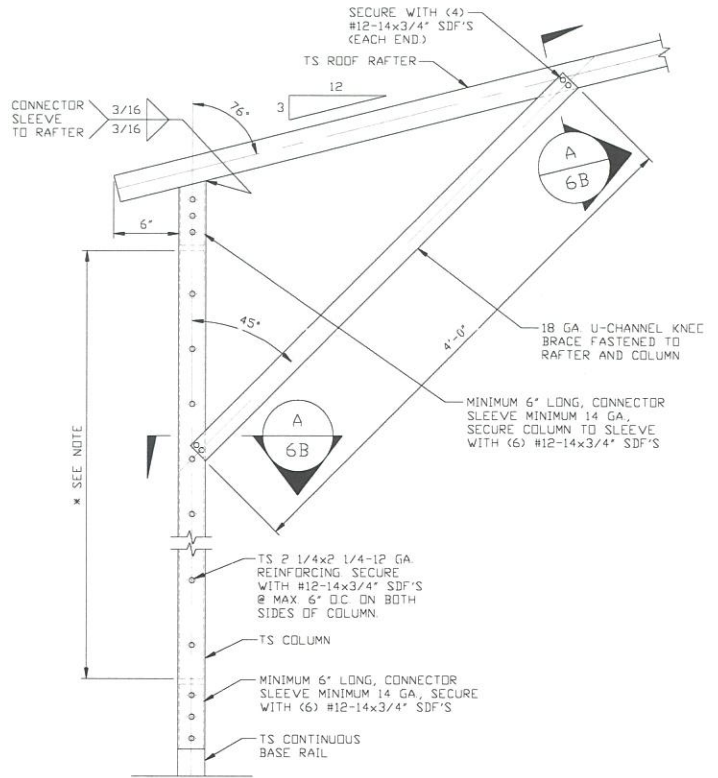
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 9'-0" < TO ≤ 14'-0"

1D

SCALE: NTS

NOTE:

* INSERT LENGTH = EAVE HEIGHT MINUS 1'-0".



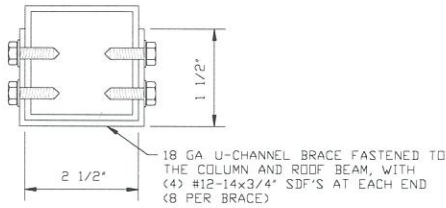
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 9'-0" < TO ≤ 14'-0"

1E

SCALE: NTS

NOTE:

* INSERT LENGTH = EAVE HEIGHT MINUS 1'-0".



A

BRACE SECTION

SCALE: NTS

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DATE: 8-23-23

SHT. 6B

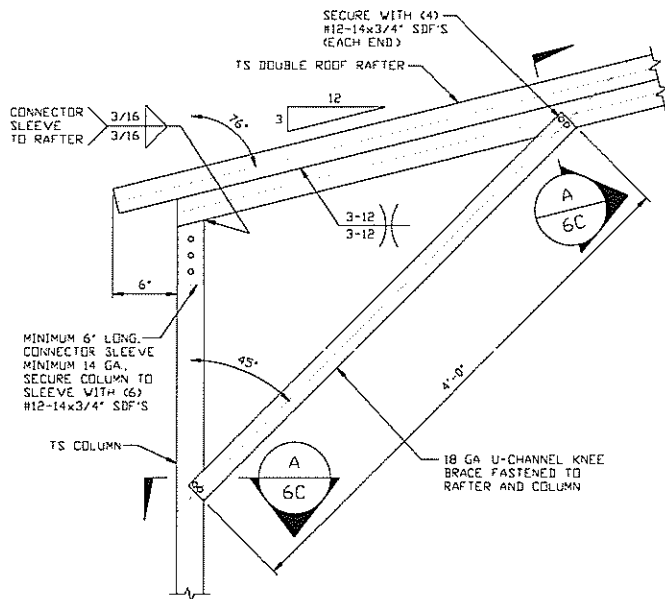
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**JOB NO:
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REV: 2

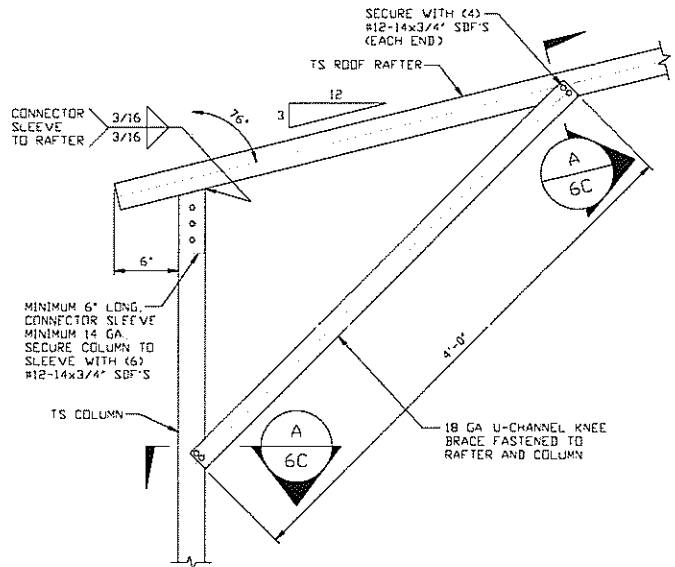
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BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS $\leq 9'-0''$

1F

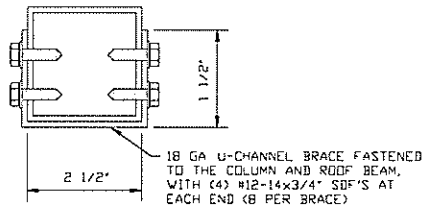
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BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS $\leq 9'-0''$

1G

SCALE: NTS



A

BRACE SECTION

SCALE: NTS

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30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 8-23-23

SHT. 6C

SCALE: NTS

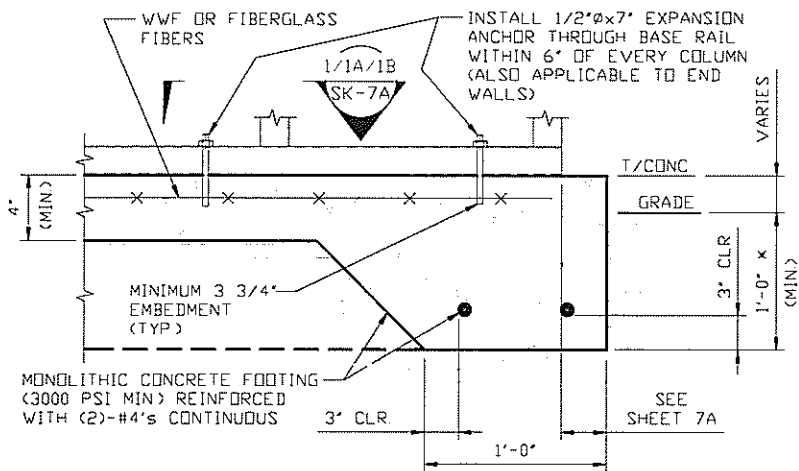
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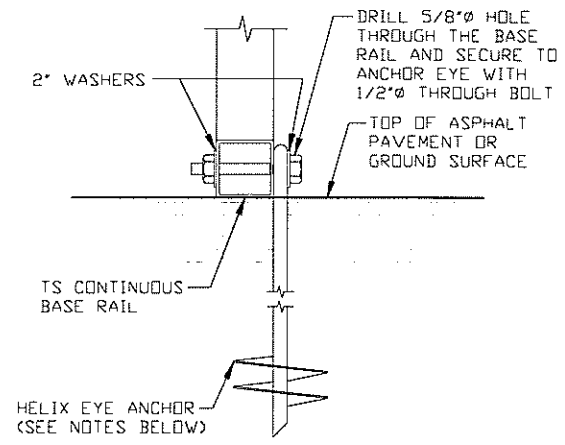
BASE RAIL ANCHORAGE OPTIONS



2

**CONCRETE MONOLITHIC SLAB
BASE RAIL ANCHORAGE**

SCALE: NTS
 MINIMUM ANCHOR EDGE DISTANCE IS 4".
 * COORDINATE WITH LOCAL BUILDING CODE
 AND/OR ORD. REGARDING REQUIRED FOOTING DEPTH.
 ■ FOR NEW YORK CITY FOOTING MUST BE A
 MINIMUM OF 1'-6" WIDE.



2A

GROUND BASE HELIX ANCHORAGE

SCALE: NTS (CAN BE USED FOR ASPHALT)
 * COORDINATE WITH LOCAL CODE/ORD.
 REGARDING REQUIRED ANCHOR LENGTH.

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF.

CONCRETE:
 CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS
FOR NEW YORK CITY, CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI.

COVER OVER REINFORCING STEEL:
 FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
 3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE

REINFORCING STEEL:
 THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT

HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT.
5. FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.

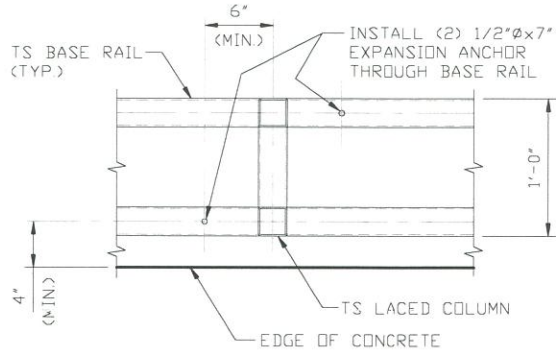
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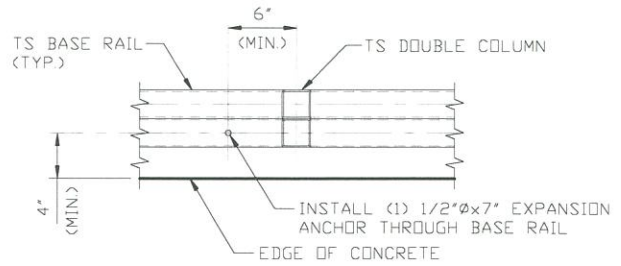
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	CHECKED BY: PDH	30'-0" x 20'-0" ENCLOSED STRUCTURE		
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	CLIENT: BEST CHOICE	SHT. 7	DWG. NO: SK-3	REV: 2

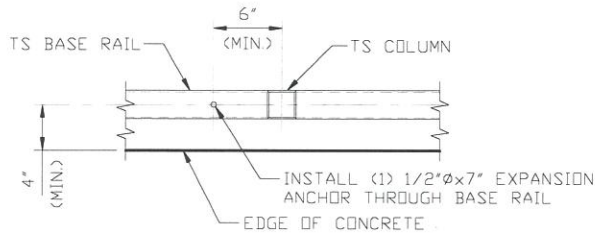
BASE RAIL ANCHORAGE OPTIONS



1 SECTION
SCALE: NTS



1A SECTION
SCALE: NTS



1B SECTION
SCALE: NTS

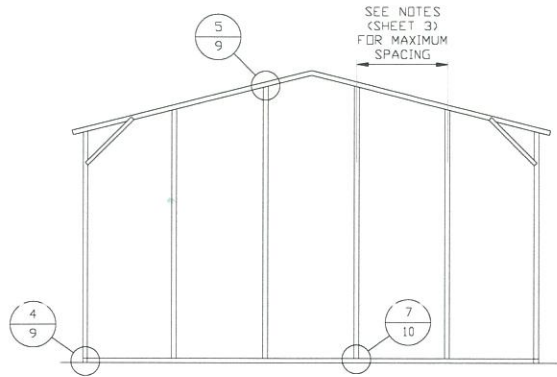
Validity Notice
Plans Expiration Date:
23 August 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT	BEST CHOICE METAL STRUCTURES 370 STANDARD STREET ELKIN, NC 28621 30'-0"x20'-0" ENCLOSED STRUCTURE		
CHECKED BY: PDH	PROJECT MGR: JRP	DATE: 8-23-23	SCALE: NTS
CLIENT: BEST CHOICE	SHT. 7A	DWG. NO.: SK-3	REV.: 2
		JOB NO.: 19128S/21179S/23144S	

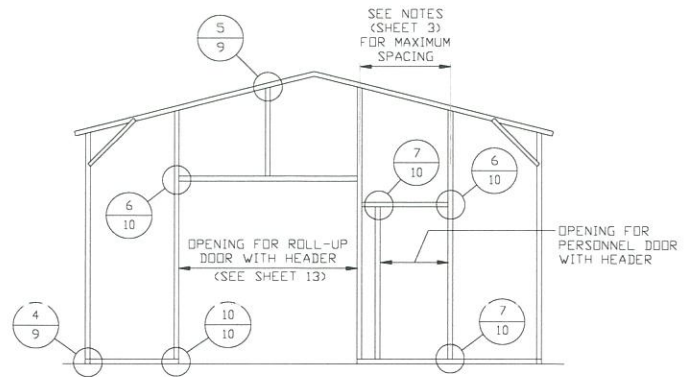
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TYPICAL END WALL AND SIDE WALL FRAMING SECTIONS (BOX EAVE RAFTER)



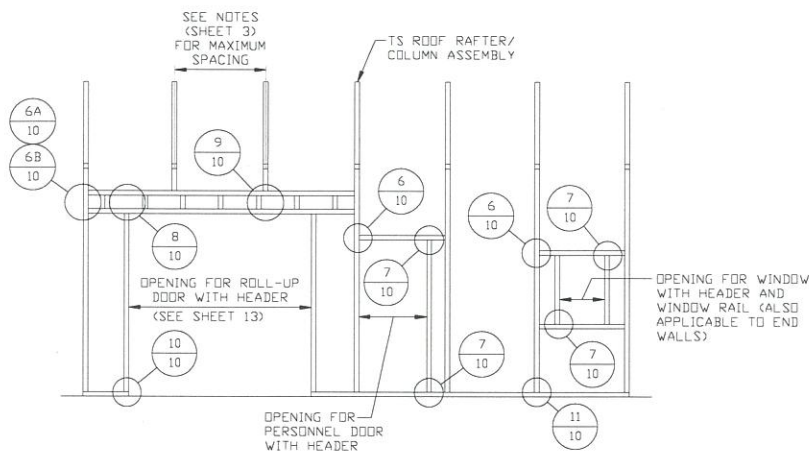
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

Validity Notice

Plans Expiration Date:

23 August 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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**BEST CHOICE METAL STRUCTURES
370 STANDARD STREET
ELKIN, NC 28621
30'-0" x 20'-0" ENCLOSED STRUCTURE**

DATE: 8-23-23

SHT. 8

SCALE: NTS

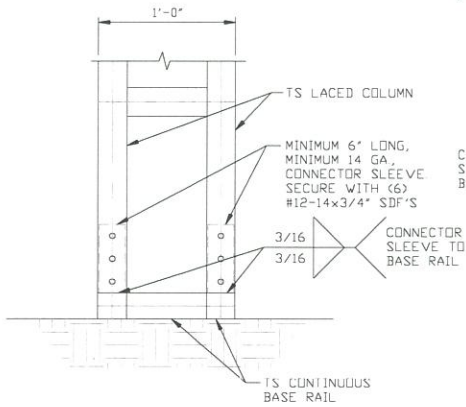
DWG. NO: SK-3

**JOB NO:
19128S/21179S/23144S**

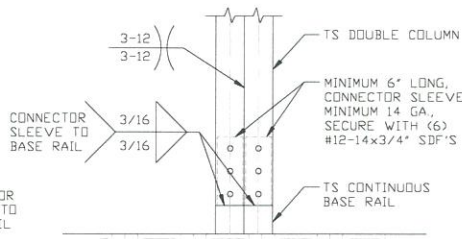
REV: 2

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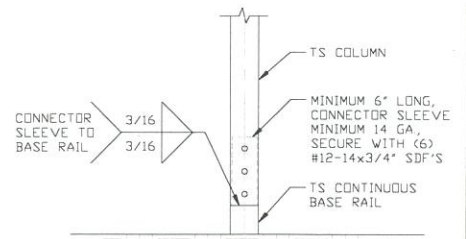
CONNECTION DETAILS



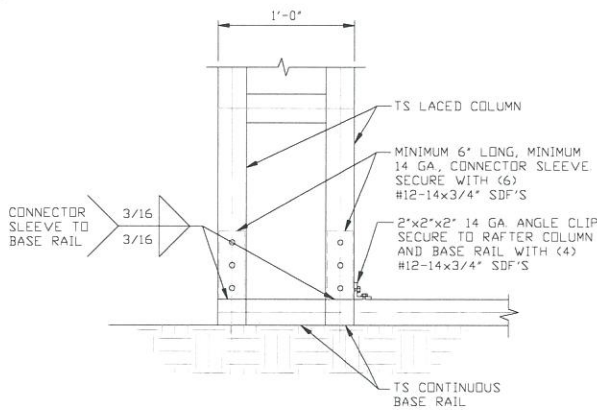
3
**RAFTER COLUMN/
 BASE RAIL
 CONNECTION DETAIL**
 SCALE: NTS



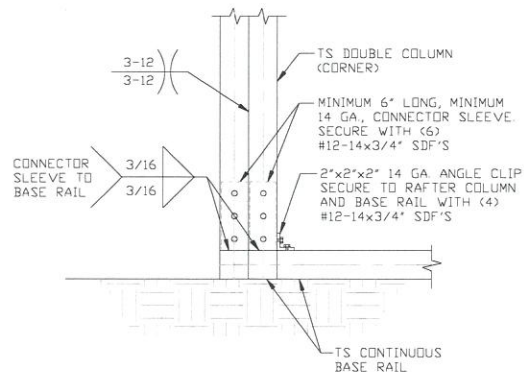
3A
**RAFTER COLUMN/
 BASE RAIL
 CONNECTION DETAIL**
 SCALE: NTS



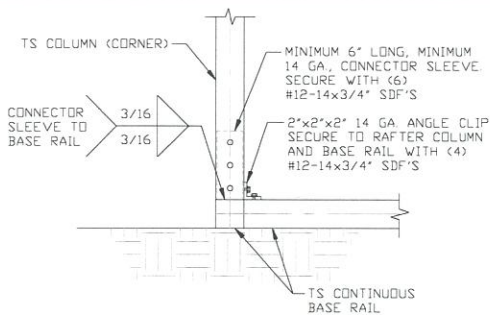
3B
**RAFTER COLUMN/
 BASE RAIL
 CONNECTION DETAIL**
 SCALE: NTS



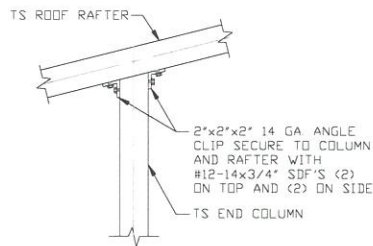
4
**END COLUMN/BASE RAIL
 CONNECTION DETAIL**
 SCALE: NTS



4A
**END COLUMN/BASE RAIL
 CONNECTION DETAIL**
 SCALE: NTS



4B
**END COLUMN/BASE RAIL
 CONNECTION DETAIL**
 SCALE: NTS



5
**END COLUMN/RAFTER
 CONNECTION DETAIL**
 SCALE: NTS

Validity Notice
 Plans Expiration Date:
23 August 2024

**MOORE AND ASSOCIATES
 ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: BEST CHOICE

**BEST CHOICE METAL STRUCTURES
 370 STANDARD STREET
 ELKIN, NC 28621
 30'-0"X20'-0" ENCLOSED STRUCTURE**

DATE: 8-23-23

SHT. 9

SCALE: NTS

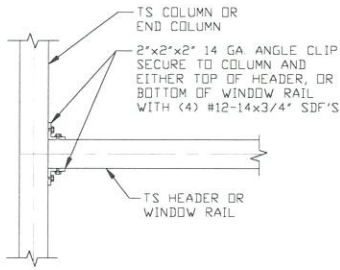
DWG. NO: SK-3

**JOB NO:
 19128S/21179S/23144S**

REV: 2

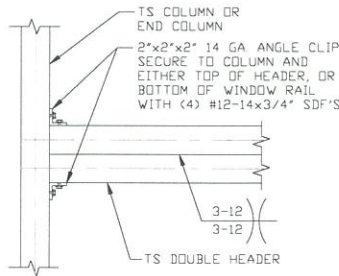
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CONNECTION DETAILS



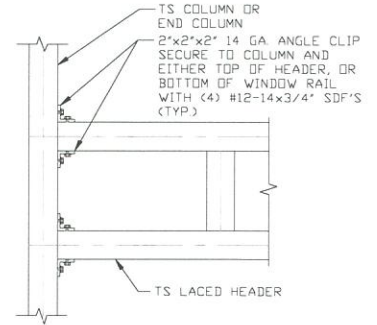
6 COLUMN OR WINDOW RAIL/GIRT TO POST CONNECTION DETAIL

SCALE: NTS



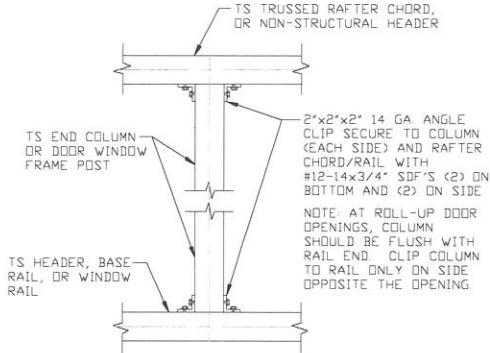
6A DOUBLE HEADER/COLUMN CONNECTION DETAIL

SCALE: NTS



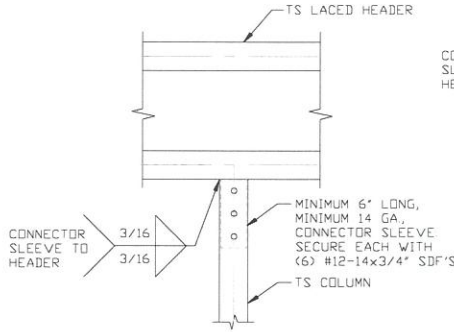
6B LACED HEADER/COLUMN CONNECTION DETAIL

SCALE: NTS



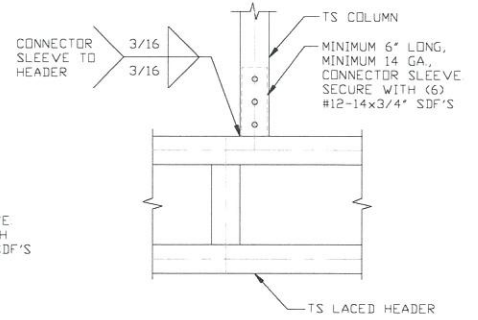
7 COLUMN TO WINDOW RAIL CONNECTION DETAIL

SCALE: NTS



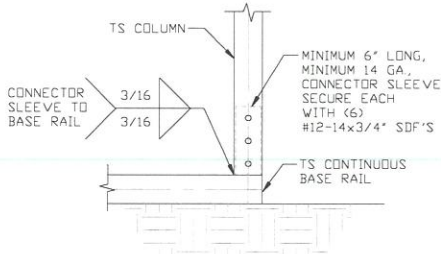
8 LACED HEADER/COLUMN CONNECTION DETAIL

SCALE: NTS



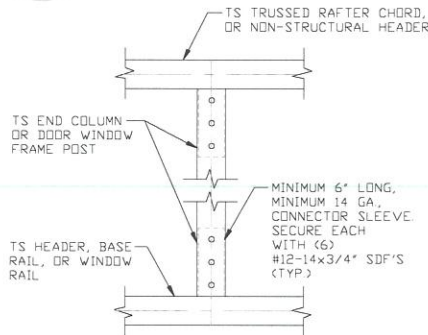
9 COLUMN/LACED HEADER CONNECTION DETAIL

SCALE: NTS



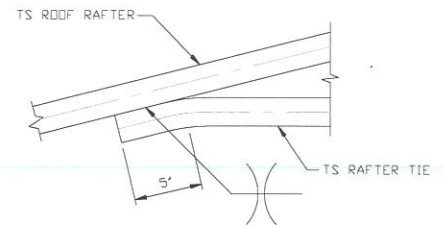
10 COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



11 COLUMN TO HEADER OR BASE RAIL CONNECTION DETAIL

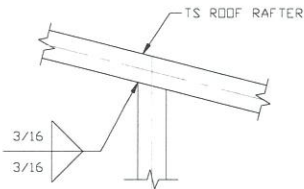
SCALE: NTS



12 RAFTER TIE CONNECTION DETAIL

SCALE: NTS

NOTE: DOUBLE TUBE RAFTER NOT SHOWN FOR CLARITY.



13 RAFTER TO CHORD CONNECTION DETAIL

SCALE: NTS

NOTE: DOUBLE TUBE RAFTER NOT SHOWN FOR CLARITY.

Validity Notice

Plans Expiration Date:

23 August 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: BEST CHOICE

**BEST CHOICE METAL STRUCTURES
370 STANDARD STREET
ELKIN, NC 28621
30'-0" x 20'-0" ENCLOSED STRUCTURE**

DATE: 8-23-23

SHT. 10

SCALE: NTS

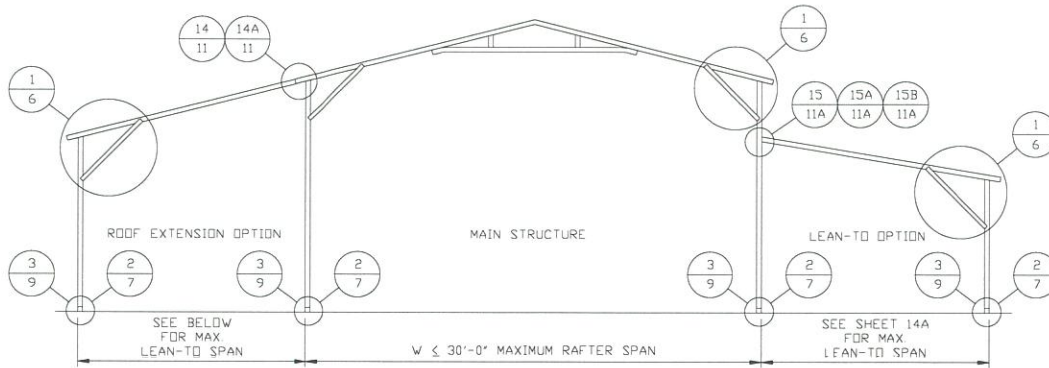
DWG. NO: SK-3

JOB NO: 19128S/21179S/23144S

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LEAN-TO OPTIONS (BOX EAVE RAFTER)



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS

MAXIMUM WIDTH OF ROOF EXTENSION AND LEAN-TO WITH SINGLE TUBE RAFTER IS 10'-0".

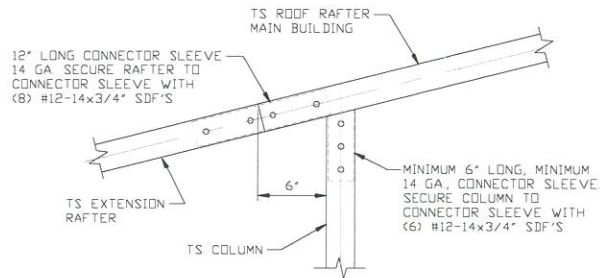
MAXIMUM WIDTH OF ROOF EXTENSION AND LEAN-TO WITH DOUBLE TUBE RAFTER IS 12'-0".

MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE LACED COLUMNS FOR EAVE HEIGHTS 16'-0" < TO ≤ 20'-0".

MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE DOUBLE COLUMNS FOR EAVE HEIGHTS 13'-0" < TO ≤ 16'-0".

MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS WITH INSERTS FOR EAVE HEIGHTS 9'-0" < TO ≤ 13'-0".

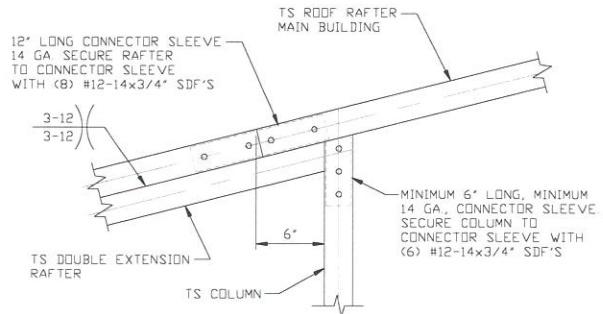
MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS FOR EAVE HEIGHTS ≤ 9'-0".



14

SIDE EXTENSION RAFTER/ COLUMN DETAIL FOR RAFTER SPANS ≤ 10'-0"

SCALE: NTS



14A

SIDE EXTENSION RAFTER/ COLUMN DETAIL FOR RAFTER SPANS 10'-0" < TO ≤ 12'-0"

SCALE: NTS

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PROJECT MGR: JRP

CLIENT: BEST CHOICE

BEST CHOICE METAL STRUCTURES
370 STANDARD STREET
ELKIN, NC 28621
30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 8-23-23

SHT. 11

SCALE: NTS

DWG. NO: SK-3

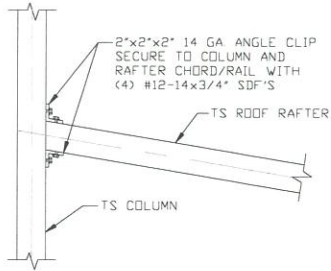
JOB NO:

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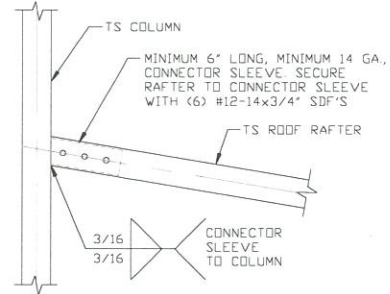
LEAN-TO OPTIONS (BOX EAVE RAFTER)



15

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR RAFTER SPANS $\leq 10'-0"$**

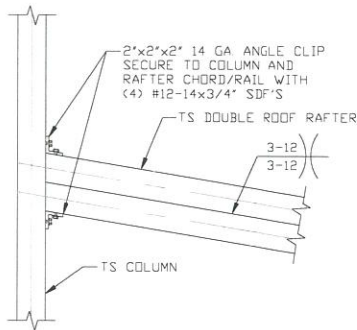
SCALE: NTS



15A

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR RAFTER SPANS $\leq 10'-0"$**

SCALE: NTS



15B

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL FOR
RAFTER SPANS $10'-0" < TO \leq 12'-0"$**

SCALE: NTS

Validity Notice

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23 August 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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PROJECT MGR: JRP

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**BEST CHOICE METAL STRUCTURES
370 STANDARD STREET
ELKIN, NC 28621
30'-0"x20'-0" ENCLOSED STRUCTURE**

DATE: 8-23-23

SHT. 11A

SCALE: NTS

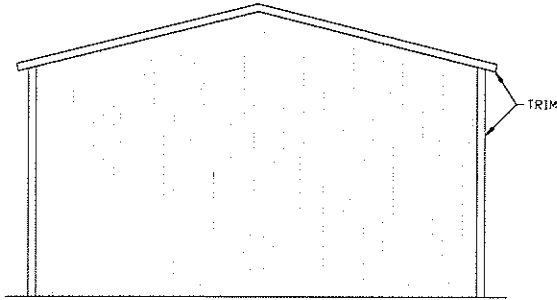
DWG. NO: SK-3

**JOB NO:
19128S/21179S/23144S**

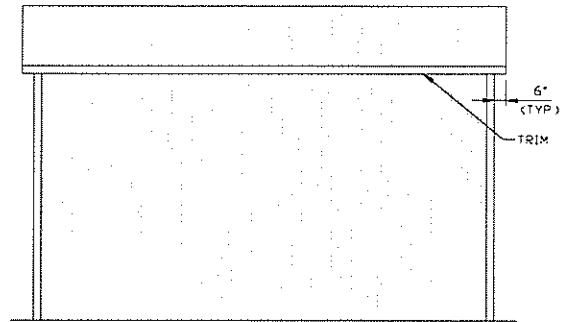
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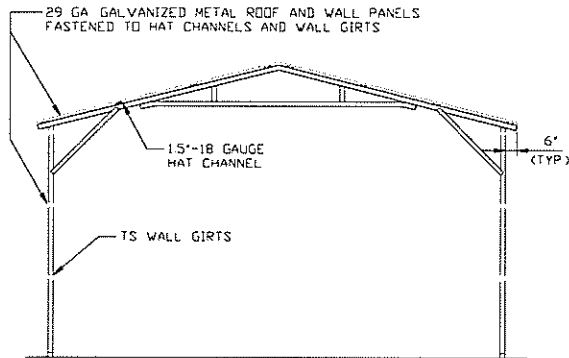
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



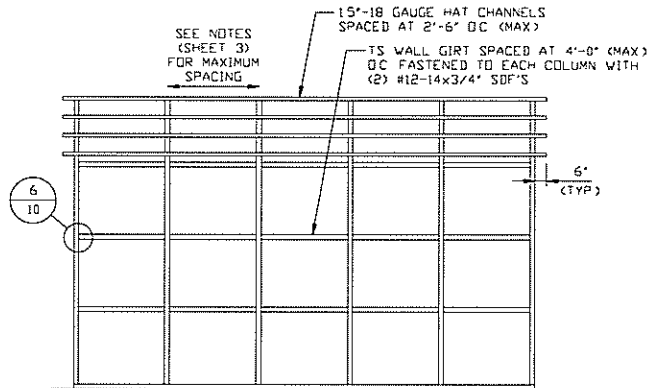
**TYPICAL END ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS



**TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS

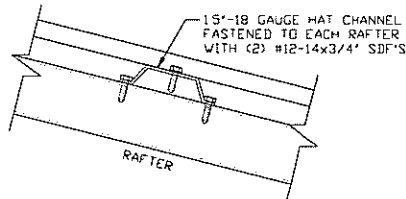


**TYPICAL SECTION VERTICAL
ROOF/SIDING OPTION**
SCALE: NTS



**TYPICAL FRAMING SECTION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS

NOTE: HAT CHANNELS CAN BE USED AS AN OPTION IN PLACE OF TS GIRTS. HAT CHANNELS MUST BE SPACED AT 4'-0" O.C. (MAX) AND FASTENED TO EACH COLUMN (LEG) WITH #12-14x3/4" SDF'S.



PANEL ATTACHMENT

(ALTERNATE FOR VERTICAL ROOF AND WALL PANELS)
SCALE: NTS

Validity Notice

Plans Expiration Date:

23 August 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PDH

PROJECT MGR: JRP

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**BEST CHOICE METAL STRUCTURES
370 STANDARD STREET
ELKIN, NC 28621
30'-0"x20'-0" ENCLOSED STRUCTURE**

DATE: 8-23-23

SHT. 12

SCALE: NTS

DWG. NO: SK-3

JOB NO:

191285/21179S/23144S

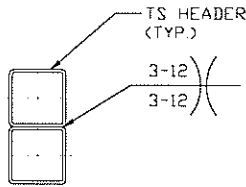
REV: 2

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HEADER OPTION

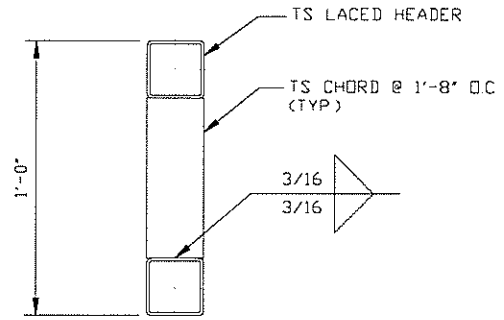
NOTE: HEADER DESIGN DOES NOT TAKE IN TO ACCOUNT ADDITIONAL ROOF LOADING FROM ATTACHED LEAN-TO STRUCTURES.

SIDEWALL



HEADER DETAIL FOR LENGTHS $\leq 7'-0''$

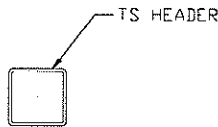
SCALE: NTS



HEADER DETAIL FOR LENGTHS $7'-0'' < TO \leq 12'-0''$

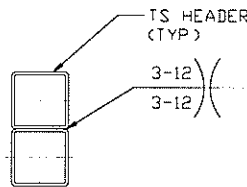
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ENDWALL



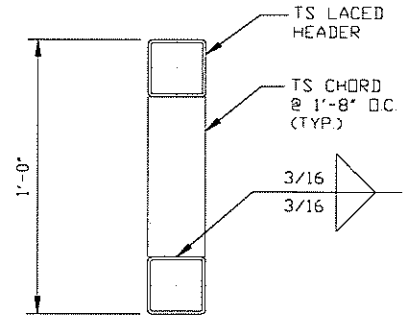
HEADER DETAIL FOR LENGTHS $\leq 7'-0''$

SCALE: NTS



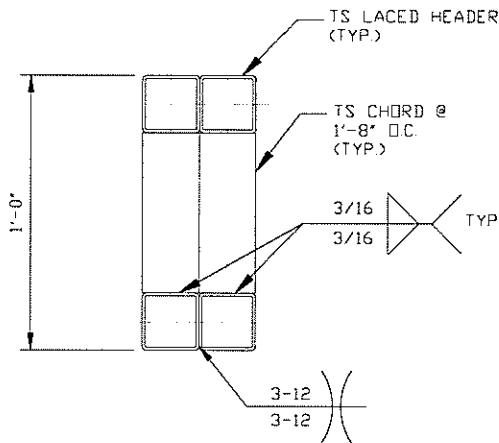
HEADER DETAIL FOR LENGTHS $7'-0'' < TO \leq 10'-0''$

SCALE: NTS



HEADER DETAIL FOR LENGTHS $10'-0'' < TO \leq 11'-0''$

SCALE: NTS



HEADER DETAIL FOR LENGTHS $11'-0'' < TO \leq 12'-0''$

SCALE: NTS

Validity Notice

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**MOORE AND ASSOCIATES
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**BEST CHOICE METAL STRUCTURES
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ELKIN, NC 28621
30'-0"x20'-0" ENCLOSED STRUCTURE**

DATE: 8-23-23

SHT. 13

SCALE: NTS

DWG. NO: SK-3

JOB NO:

19126S/21179S/23144S

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